

Borough Council of
**King's Lynn &
West Norfolk**



Planning Committee

Agenda

Tuesday, 7th May, 2024
at 9.30 am

in the

Assembly Room
Town Hall
King's Lynn

Also available to view at:

<https://www.youtube.com/user/WestNorfolkBC>



King's Court, Chapel Street, King's Lynn, Norfolk, PE30 1EX
Telephone: 01553 616200
Fax: 01553 691663

PLANNING COMMITTEE AGENDA

Please note that due to the number of applications to be considered it is proposed that the Committee will adjourn for lunch at approximately 12.30 pm and reconvene at 1.10 pm.

Please ensure that all mobile phones are switched to silent

DATE: Tuesday, 7th May, 2024

VENUE: Assembly Room, Town Hall, Saturday Market Place, King's Lynn PE30 5DQ

TIME: 9.30 am

1. APOLOGIES

To receive any apologies for absence and to note any substitutions.

2. MINUTES

To confirm as a correct record the Minutes of the Meeting held on 8 April 2024 (previously circulated).

3. DECLARATIONS OF INTEREST (Page 6)

Please indicate if there are any interests which should be declared. A declaration of an interest should indicate the nature of the interest (if not already declared on the Register of Interests) and the agenda item to which it relates. If a disclosable pecuniary interest is declared, the Member should withdraw from the room whilst the matter is discussed.

These declarations apply to all Members present, whether the Member is part of the meeting, attending to speak as a local Member on an item or simply observing the meeting from the public seating area.

Councillor appointed representatives on the Internal Drainage Boards are noted.

4. URGENT BUSINESS UNDER STANDING ORDER 7

To consider any business, which by reason of special circumstances, the Chair proposes to accept, under Section 100(b)(4)(b) of the Local Government Act, 1972.

5. MEMBERS ATTENDING UNDER STANDING ORDER 34

Members wishing to speak pursuant to Standing Order 34 should inform the Chairman of their intention to do so and on what items they wish to be heard before a decision on that item is taken.

6. CHAIR'S CORRESPONDENCE

To receive any Chair's correspondence.

7. RECEIPT OF LATE CORRESPONDENCE ON APPLICATIONS

To receive the Schedule of Late Correspondence received since the publication of the agenda.

8. ITEMS FOR NOTING

- a) **Glossary of Terms** (Pages 7 - 9)
- b) **Core Strategy Policies** (Pages 10 - 31)

9. INDEX AND DECISIONS ON APPLICATIONS (Pages 32 - 115)

The Committee is asked to note the Index of Applications and to consider and determine the attached Schedule of Planning Applications submitted by the Executive Director.

10. SECTION 106 UPDATES (Pages 116 - 118)

The purpose of the report is to seek authorisation from Planning Committee to finalise and complete S106 agreements pertaining to application ref 22/00871/FM and 23/00805/F.

11. QUALITY OF DECISIONS (Page 119)

The Committee is asked to note the report.

12. DELEGATED DECISIONS (Pages 120 - 150)

To receive the Schedule of Planning Applications determined by the Executive Director.

To: Members of the Planning Committee

Councillors B Aota, R Blunt, F Bone (Chair), A Bubb, M de Whalley, T de Winton, P Devulapalli, S Everett, S Lintern (Vice-Chair), B Long, S Ring, C Rose, A Ryves, Mrs V Spikings, M Storey and D Tyler

Site Visit Arrangements

When a decision for a site inspection is made, consideration of the application will be adjourned, the site visited, and the meeting reconvened on the same day for a decision to be made. Timings for the site inspections will be announced at the meeting.

If there are any site inspections arising from this meeting, these will be held on **Thursday 9th May 2024** (time to be confirmed) and the meeting reconvened on the same day (time to be agreed).

Please note:

- (1) At the discretion of the Chairman, items may not necessarily be taken in the order in which they appear in the agenda.
- (2) An Agenda summarising late correspondence received by 5.15 pm on the Thursday before the meeting will be emailed (usually the Friday) and tabled one hour before the meeting commences. Correspondence received after that time will not be specifically reported during the Meeting.
- (3) **Public Speaking**

Please note that the deadline for registering to speak on the application is **12 noon** the working day before the meeting, **Friday 3 May 2024**. Please contact borough.planning@west-norfolk.gov.uk or call (01553) 616818 or 616234 to register.

For Major Applications

Two speakers may register under each category: to object to and in support of the application. A Parish or Town Council representative may also register to speak. Each speaker will be permitted to speak for five minutes.

For Minor Applications

One Speaker may register under category: to object to and in support of the application. A Parish or Town Council representative may also register to speak. Each speaker will be permitted to speak for three minutes.

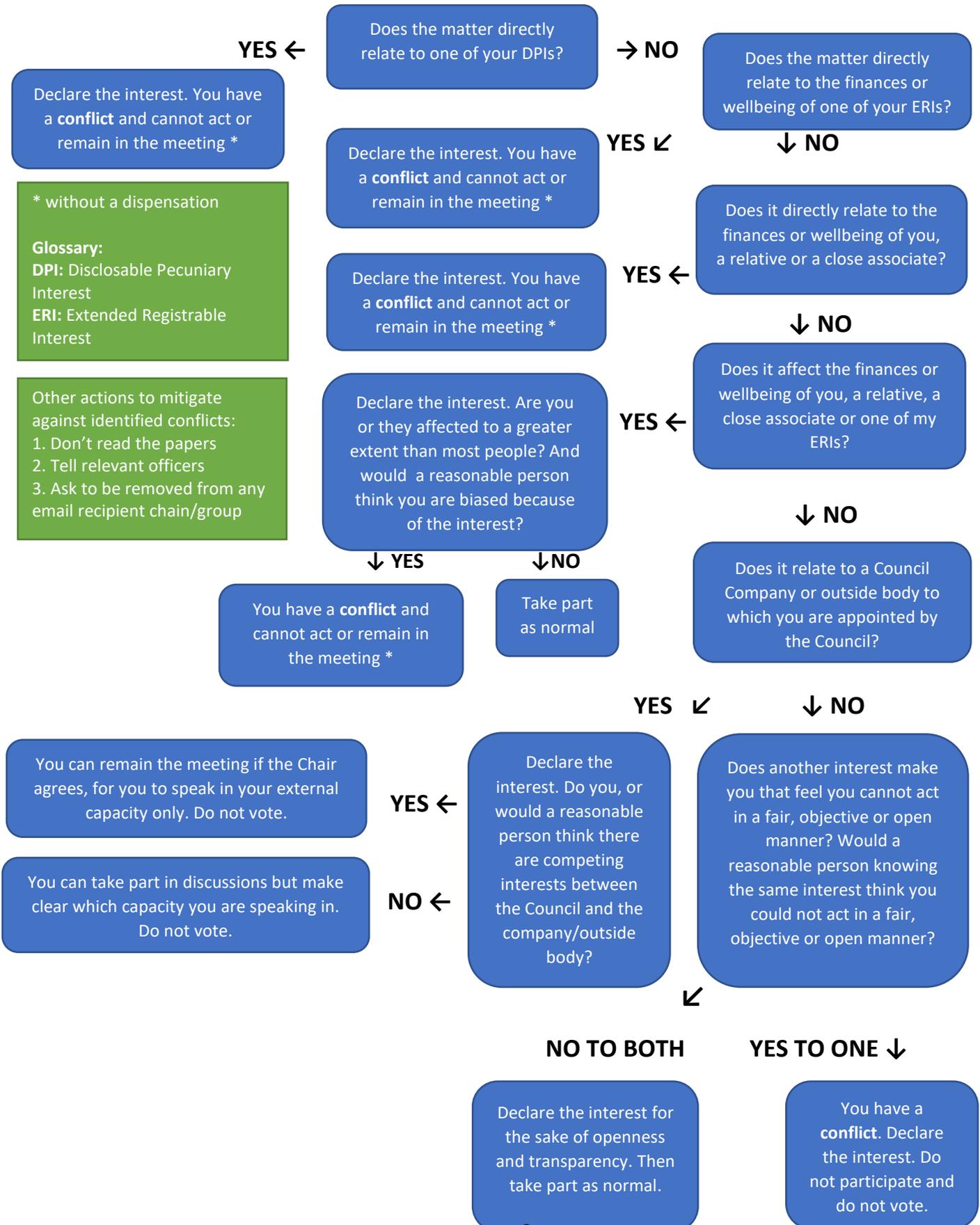
For Further information, please contact:

Kathy Wagg on 01553 616276
kathy.wagg@west-norfolk.gov.uk

DECLARING AN INTEREST AND MANAGING ANY CONFLICTS FLOWCHART



START



Glossary of Terms and Abbreviations	
AIA	Arboricultural Impact Assessment
AMS	Arboricultural Method Statement
AOD	Above Ordnance Datum
AONB	Area of Outstanding Natural Beauty (now National Landscape)
AQMA	Air Quality Management Plan
ATC	Air Traffic Controller
BCKLWN	Borough Council of King's Lynn and West Norfolk
BCN	Breach of Condition Notice
BNG	Biodiversity Net Gain
BS	British Standard
CA	Conservation Area
CCTV	Closed Circuit Television
CHZ	Coastal Hazard Zone
CIL	Community Infrastructure Levy
CLEUD	Certificate of Lawful Existing Use or Development
CLOPUD	Certificate of Lawful Proposed Use or Development
CRM	Collision Risk Modelling
CS	Core Strategy
CSH	Code for Sustainable Homes
CSNN	Community Safety and Neighbourhood Nuisance
CTMP	Construction Traffic Management Plan
CWS	County Wildlife Site
D and A	Design and Access Statement
DDA	Disability Discrimination Act
DEFRA	Department for Environment, Food and Rural Affairs
DLUHC	Department for Levelling Up, Housing and Communities
DISC	Discharge of Condition
DMPP	Development Management Policies Plan
DS	Design Statement
EA	Environment Agency
EBR	Economic Benefit Report
EIA	Environmental Impact Assessment
EN	Enforcement Notice
EVC	Electric Vehicle Charging
FFL	Finished Floor Level
FRA	Flood Risk Assessment
GCN	Great Crested Newts
GIRAMS	Green Infrastructure and Recreational Impact Avoidance and Mitigation Strategy
GPDO	General Permitted Development Order
HAS	Health and Safety Assessment
HELAA	Housing and Economic Land Availability Assessment
HPG	Historic Parks and Gardens
HRA	Habitat Regulations Assessment
HSE	Health and Safety Executive
IAQM	Institute of Air Quality Management
IDB	Internal Drainage Board
IROPI	Imperative Reasons of Overriding Public Interest
LB	Listed Building
LCA	Landscape Character Assessment
LDFCS	Local Development Framework Core Strategy
LHA	Local Highway Authority
LLFA	Lead Local Flood Authority
LP	Local Plan
LPA	Local Planning Authority
LVA	Landscape and Visual Appraisal
LVIA	Landscape and Visual Impact Assessment
MOD	Ministry of Defence

MUGA	Multi Use Games Area
NL	National Landscape (formerly AONB)
NCC	Norfolk County Council
NCP	North Coast Partnership
NDG	National Design Guide
NE	Natural England
NHBC	National House Building Council
NMDC	National Model Design Guide
NMP	Noise Management Plan
NNR	National Nature Reserve
NP	Neighbourhood Plan
NPPF	National Planning Policy Framework
NPPG	National Planning Policy Guidance
OIA	Ornithological Impact Assessment
OS	Ordnance Survey
PADHI	Planning Advice for Development near Hazardous Installations
PCN	Planning Contravention Notice
PCPA	Planning and Compulsory Purchase Act
PEA	Preliminary Ecological Appraisal
PINs	Planning Inspectorate
POS	Public Open Space
PPG	Planning Practice Guidance
PROW	Public Rights of Way
PS	Protected Species
PSS	Protected Species Survey
RP	Registered Provider
RPA	Root Protection Area
RS	Ramsar Site
RSS	Regional Spatial Strategy
S106	Section 106 Agreement (Planning Legal Agreement)
S278	Section 278 Agreement (provide the legal mechanism required to carry out highway alterations)
S38	Section 38 Agreement (secure new road adoption by the highway authority)
SAC	Special Areas of Conservation
SADMPP	Site Allocations and Development Management Policies Plan
SCI	Statement of Community Involvement
SD	Sustainable Development
SFRA	Strategic Flood Risk Assessment
SHLAA	Strategic Housing Land Availability Assessment
SHMA	Strategic Housing Market Assessment
SME	Subject Matter Expert
SOS	Secretary of State
SPA	Special Protection Area
SPD	Supplementary Planning Document
SS	Spatial Strategy
SSSI	Site of Special Scientific Interest
SUDS	Sustainable Urban Drainage Scheme
TA	Transport Assessment
TCPA	Town and Country Planning Act
TEMPO	Tree Evaluation Method for Preservation Orders
TPO	Tree Preservation Order
TPP	Tree Protection Plan
TRO	Traffic Regulation Order
UCO	Use Class Order
UU	Unilateral Undertaking
VA	Viability Assessment
VOA	Valuation Office Agency
WHO	World Health Organisation
WSI	Written Scheme of Investigation

Suffixes to Reference Numbers	
A	Advertisement Consent
AG	Agricultural Prior Notification
BT	Adoption/Removal of BT Payphone Box
CM	County Matter
CU	Change of use (where no development is involved)
CON	Consultation by Adjoining Authority
DM	Demolition Prior Notification
F	Full Application (including Householder)
FM	Full Major Application
HZ	Hazardous Substance Application
LDE	Lawful Development Certificate (existing use or development)
LDP	Lawful Development Certificate (proposed use or development)
NMA	Non Material Amendment
O	Outline Application
OM	Outline Major Application
PACU	Prior Notification for a change of use (i.e. barn to dwelling)
PAGPD	Householder Prior Notification (larger home extension)
PAGAA	Householder Prior Notification (increase by adding an additional storey onto a dwelling)
PIP	Permission in Principle
RM	Reserved Matters Application
RMM	Reserved Matters Major Application
S257	Divert/stop up a Public Right of Way
T3	Telecoms Prior Notification
TPO	Application for works to Tree(s) subject to a TPO
TREECA	Application for works to Tree(s) in a Conservation Area

CORE STRATEGY ADOPTED VERSION JULY 2011

POLICIES

POLICY No.	POLICY DESCRIPTION	POLICY SUMMARY
CS01	SPATIAL STRATEGY	Development Priorities for the Borough
CS02	SETTLEMENT HIERARCHY	Decision on investment in services and facilities and on the location and scale of new development will be taken on the basis of the Borough settlement hierarchy
CS03	KINGS LYNN AREA	In support of the overall development strategy Kings Lynn will continue to meet its obligations as a Growth Point and Key Centre for Development and Change and develop as a sub-regional centre
CS04	DOWNHAM MARKET	The role of DM will continue as a main town providing and supporting employment and essential services for the southern part of the borough.
CS05	HUNSTANTON	The focus for Hunstanton will be on ensuring that as a main town it develops its position as a successful service hub for the local area, while strengthening the role as a tourist destination with year round activities.
CS06	DEVELOPMENT IN RURAL AREAS	The strategy for rural areas is to: <ul style="list-style-type: none"> • Promote sustainable communities and patterns of development to ensure strong, diverse, economic activities • Maintain local character and high quality environment • Focus most new development in key rural service centres • Ensure employment, housing, services and other facilities are provided in close proximity
CS07	DEVELOPMENT IN COASTAL AREAS	The Council will seek to balance the sensitive nature of the coastal area of West Norfolk with the national and international designations including the Area of Outstanding Natural Beauty for wildlife, landscape and heritage with the need for economic and social development of the area and the effects of climate change including the AONB for wildlife, landscape and heritage
CS08	SUSTAINABLE DEVELOPMENT	All new development should be of high quality design
CS09	HOUSING	The plan will identify sufficient land for a

	DISTRIBUTION	minimum of 16,500 new dwellings across the Borough over the period 2001 to 2026, (12,000 to 2021 and an additional 3,000 to maintain a 15 year supply from adoption date of the Core Strategy, anticipated 2011. The total also allows 10% for flexibility and non-completion of commitments etc.)
CS10	THE ECONOMY	The local economy will be developed sustainably
CS11	TRANSPORT – STRATEGIC ISSUES	The Council will work with partner organisations (including the Regional Transport Board, Highways Agency, public transport operators, Network Rail, Norfolk County Council and neighbouring authorities) to deliver a sustainable transport network which improves connectivity within and beyond the borough, and reinforcing the role of King's Lynn as a regional transport node
CS12	ENVIRONMENTAL ASSETS – Green Infrastructure, Historic Environment, Landscape Character, Biodiversity and Geodiversity	<p>Proposals to protect and enhance our historic environment and landscape character, biodiversity and geodiversity will be encouraged and supported.</p> <p>The Borough Council will work with partners to ensure an integrated network of green infrastructure throughout the urban and rural areas (identified through the Green Infrastructure Management Plan and Econet map) is successfully created and managed</p>
CS13	COMMUNITY AND CULTURE	<p>(i) Delivering community well-being and enhancing quality of life through good design</p> <p>(ii) Creating sustainable communities through the provision of community infrastructure</p> <p>(iii) Protecting, enhancing and promoting cultural assets as well as facilitating new cultural facilities in growth areas</p>
CS14	INFRASTRUCTURE PROVISION	All development in the plan area will need to be accompanied by appropriate infrastructure (including off-site infrastructure) in a timely way, with arrangements for its subsequent maintenance

**SITE ALLOCATIONS AND DEVELOPMENT MANAGEMENT POLICIES PLAN ADOPTED
VERSION SEPTEMBER 2016**

POLICIES

POLICY No.	POLICY DESCRIPTION	POLICY SUMMARY
DM 1	PRESUMPTION IN FAVOUR OF SUSTAINABLE DEVELOPMENT	<p>When considering development proposals the Council will take a positive approach that reflects the presumption in favour of sustainable development contained in the National Planning Policy Framework. It will always work proactively and jointly with applicants to find solutions that allow proposals to be approved wherever possible, and to secure development that improves the economic, social and environmental conditions in the area.</p> <p>Planning applications that accord with the policies in this Local Plan (and, where relevant, with policies in neighbourhood plans) will be approved without delay, unless material considerations indicate otherwise.</p> <p>Where there are no policies relevant to the application or relevant policies are out of date at the time of making the decision, the Council will grant permission unless material considerations indicate otherwise – taking into account whether:</p> <ul style="list-style-type: none"> • Any adverse impacts of granting permission would significantly and demonstrably outweigh the benefits, when assessed against the policies in the National Planning Policy Framework taken as a whole; or • Specific policies in that Framework indicate that development should be restricted.
DM 2	DEVELOPMENT BOUNDARIES	<p>Development will be permitted within the development boundaries of settlements shown on the Policies Map provided it is in accordance with the other policies in the Local Plan.</p> <p>The areas outside development boundaries (excepting specific allocations for development) will be treated as countryside where new development will be more restricted and will be limited to that identified as suitable in rural areas by other policies of the local plan, including:</p> <ul style="list-style-type: none"> • farm diversification (under Core Strategy Policy CS06); • small scale employment (under Core Strategy Policy CS10); • tourism facilities (under Core Strategy Policy CS10); • community facilities, development in support

		<p>(under Core Strategy Policy CS13);</p> <ul style="list-style-type: none"> • renewable energy generation (under Policy DM20 of the rural economy or to this Plan); • rural workers' housing (under Policy DM6 of this Plan); and • affordable housing (under Core Strategy Policy CS09) <p>In Smaller Villages and Hamlets, infilling in accordance with Policy DM3 will also be permitted in addition to those categories identified in the previous paragraph.</p>
DM 2A	EARLY REVIEW OF LOCAL PLAN	<p>An early review of the Local Plan will be undertaken, commencing with the publication of a consultation document (a Draft Local Plan) in 2016. This is set out in the Local Development Scheme (LDS). An early review will ensure a set of deliverable and achievable housing sites for the duration of the Plan period, with the most up to date policy framework to secure continuity for the longer term.</p> <p>The review will identify the full, objectively assessed housing needs for the District and proposals to ensure that this is met in so far as this is consistent with national policy (National Planning Policy Framework).</p>
DM 3	DEVELOPMENT IN THE SMALLER VILLAGES AND HAMLETS	<p>New development in the designated Smaller Villages and Hamlets will be limited to that suitable in rural areas, including:</p> <ul style="list-style-type: none"> • small scale employment uses (under Policy CS10); community facilities (under Policy CS13); • smaller scale tourism facilities (under Policy CS10); • conversions of existing buildings (under Policy CS06); • rural exceptions affordable housing; and • development to meet specific identified local need, including housing to support the operation of rural businesses (under Policies CS01 and CS06); <p>Plus housing as set out following:</p> <p>The sensitive infilling of small gaps within an otherwise continuously built up frontage will be permitted in Smaller Villages and Hamlets where:</p> <ul style="list-style-type: none"> • the development is appropriate to the scale and character of the group of buildings and its surroundings; and • it will not fill a gap which provides a positive contribution to the street scene. <p>In exceptional circumstances the development of small</p>

		groups of dwellings in Smaller Villages and Hamlets may be considered appropriate where the development is of a particularly high quality and would provide significant benefits to the local community.
DM 4	HOUSES IN MULTIPLE OCCUPATION	<p>The conversion of existing dwellings to and new development of properties for multiple occupation may be permitted where:</p> <ul style="list-style-type: none"> • there is no adverse impact on the amenity of existing and new residents and the historic and natural environment; and • the development and associated facilities, including bin storage, car and cycle parking, can be provided without significant detriment to the occupiers of adjoining or neighbouring properties; and • the site is within reasonable distances to facilities, public open space, supporting services and local employment.
DM 5	ENLARGEMENT OR REPLACEMENT OF DWELLINGS IN THE COUNTRYSIDE	Proposals for replacement dwellings or extensions to existing dwellings will be approved where the design is of a high quality and will preserve the character or appearance of the street scene or area in which it sits. Schemes which fail to reflect the scale and character of their surroundings or which would be oppressive or adversely affect the amenity of the area or neighbouring properties will be refused.
DM 6	HOUSING NEEDS OF RURAL WORKERS	<p>New Occupational Dwellings</p> <ol style="list-style-type: none"> 1. Development proposals for occupational dwellings must demonstrate the stated intentions to engage in farming, forestry or any other rural-based enterprise, are genuine, are reasonably likely to materialise and are capable of being sustained. Proposals should show that the needs of the intended enterprise require one or more of the people engaged in it to live nearby. 2. Agricultural or rural based occupancy conditions will be placed on any new permanent or temporary occupational dwellings specifying the terms of occupation. <p>Permanent occupational dwellings</p> <ol style="list-style-type: none"> 3. New permanent dwellings should only be allowed to support existing rural based activities on well-established rural based enterprises, providing: <ol style="list-style-type: none"> a. there is a clearly established existing functional need, requiring occupants to be adjacent to their enterprises in the day and at night,

		<ul style="list-style-type: none"> b. the need could not be met by existing dwellings within the locality, c. the application meets the requirements of a financial test demonstrating that: d. the enterprise(s) and the rural based activity concerned have been established for at least three years, have been profitable for at least one of them and; <ul style="list-style-type: none"> i. are currently financially sound, and have a clear prospect of remaining so and; ii. the rural based enterprise can sustain the size of the proposed dwelling; iii. acceptable in all other respects <p>Temporary occupational dwellings</p> <ul style="list-style-type: none"> 4. if a new dwelling is essential to support a new rural based activity, it should normally, for the first three years, be provided by a caravan, or other temporary accommodation. 5. new temporary dwellings should only be allowed to support rural based activities providing: <ul style="list-style-type: none"> a. the proposal satisfies criteria 3a and 3b above b. the application is supported by clear evidence of a firm intention and ability to develop the enterprise concerned (for example significant investment in new farm buildings is often a good indication of intentions); c. the application is supported by clear evidence that the proposed enterprise has been planned on a sound financial basis. <p>Existing Occupational Dwellings</p> <ul style="list-style-type: none"> 6. preference will be given to retaining agricultural or other rural based occupancy dwellings where there is a local identified need. 7. proposals for the relaxation or removal of agricultural occupancy conditions will only be permitted where the applicant can demonstrate that: <ul style="list-style-type: none"> a. the dwelling has been occupied in accordance with the terms of the occupancy condition for a minimum of 5 years; and
--	--	--

		<p>b. there is no longer a need for the dwelling by those working, or last working, in the locality in agricultural, forestry or a rural enterprise, established by evidence of marketing (including the provision of details of an independent market valuation reflecting the occupancy condition, as well as all viewings and offers made) for a 12 month period at a price that reflects the occupancy condition.</p>
DM 7	RESIDENTIAL ANNEXES	<p>Development of residential annexes will be approved only subject to the following being secured by condition or planning agreement:</p> <ul style="list-style-type: none"> • it remains in the same ownership as, and is occupied in conjunction with the principal dwelling; and does not appear as tantamount to a new dwelling • it is ancillary and subordinate in scale to the principal dwelling; • Its occupant(s) share(s) the existing access, garden and parking of the main dwelling; • occupation of the annexe is subsidiary to that of the main dwelling; and • • not capable of sub-division. <p>Development of residential annexes outside the development boundaries of settlements will also be judged against the criteria in Policy DM5: Enlargement or Replacement of Dwellings in the Countryside.</p>
DM 8	DELIVERING AFFORDABLE HOUSING ON PHASED DEVELOPMENT	<p>Allocated Sites</p> <p>On sites allocated for residential development through the Local Plan process the requirement to provide affordable housing under Core Strategy CS09 Housing will apply jointly to the whole of a single allocated site that is developed incrementally (through sub-division etc.) and where development of the whole site results in a requirement for a proportion of (or in exceptional circumstances a contribution to) affordable housing.</p> <p>Windfall Sites</p> <p>On windfall sites the requirement to provide affordable housing under Core Strategy CS09 Housing will apply where the Council considers that the proposed development forms part of a larger site which, if developed, would result in a requirement for a proportion of (or contribution to) affordable housing. If</p>

		<p>the application site satisfies one or more of the following criteria, then it will be considered to be part of a larger site for the purposes of this policy:-</p> <ul style="list-style-type: none"> • land ownership – If an application site is in the same ownership as one or more adjacent plots of land at the time the application is made or within 3 years of the date the application is made and development of those sites would comply with other policies of the Local Plan; • planning history – If there is evidence of previous applications for development of a larger site of which the application site forms a part within the past 3 years of the date an application is made and development of the larger site would still be acceptable under other policies of the Local Plan; or • extensions to existing consented development – If the site forms an extension to a development that has been approved in the 3 years before the application is made and which is still capable of being implemented or the site forms an extension to a development that is being built out on the date the application is made.
DM 9	COMMUNITY FACILITIES	<p>The Council will encourage the retention of existing community facilities and the provision of new facilities, particularly in areas with poor levels of provision and in areas of major growth.</p> <p>Development leading to the loss of an existing community facility will not be permitted unless it is demonstrated that either:</p> <ol style="list-style-type: none"> a) the area currently served by it would remain suitably provided following the loss, or if not b) it is no longer viable or feasible to retain the premises in a community facility use.
DM 10	RETAIL DEVELOPMENT	<p>The Council attach a high priority to the need to support and maintain King's Lynn, Downham Market and Hunstanton as major retail centres. This will be achieved by a combination of measures to improve attractiveness (by increased accessibility, environmental enhancements, events and promotions), as well as strongly supporting proposals to redevelop and invest in the town centres including, where necessary, the use of compulsory purchase powers to consolidate land.</p> <p>New retail uses will be expected to be located in these town centres unless an alternative location is</p>

		<p>demonstrated to be necessary. If there are no suitable sites in the town centre, an edge of centre location will be expected. Other locations will only be acceptable where it is demonstrated either that there are no suitable sites in the town centre and edge of centre, or the format or nature of the proposed use would not be appropriate in a town centre location (e.g. bulky goods and trade, rural retail services, etc.).</p> <p>The Council will strongly resist proposals for out of town retail uses that either individually or cumulatively would undermine the attractiveness and viability of the town centres. Retail impact assessments will be required for individual schemes having a floorspace of greater than 2500 square metres, although in the case of the Hardwick area in King's Lynn (where there is already a significant accumulation of out of town centre retailing) greater weight will be attached to the cumulative impact of new development on the town centre. New retail uses in this area will not be subject to a floorspace threshold and will only be approved where they meet the sequential test set out in the NPPF and will not individually or cumulatively undermine the viability of the town centre.</p>
DM 11	TOURING AND PERMANENT HOLIDAY SITES	<p>(NOTE – For the purposes of this policy the term 'holiday accommodation' is used to describe caravan based accommodation, including touring and permanent sites/units, as well as permanent buildings constructed for the purpose of letting etc.)</p> <p>Location requirements</p> <p>Proposals for new holiday accommodation sites or units or extension or intensification to existing holiday accommodation will not normally be permitted unless:</p> <ul style="list-style-type: none"> • the proposal is supported by a business plan demonstrating how the site will be managed and how it will support tourism or tourist related uses in the area; • the proposal demonstrates a high standard of design in terms of layout, screening and landscaping ensuring minimal adverse impact on visual amenity and the historical and natural environmental qualities of the surrounding landscape and surroundings; and • the site can be safely accessed; • it is in accordance with national policies on flood risk; • the site is not within the Coastal Hazard Zone

		<p>indicated on the Policies Map, or within areas identified as tidal defence breach Hazard Zone in the Borough Council's Strategic Flood Risk Assessment and the Environment Agency's mapping;</p> <p>Small scale proposals for holiday accommodation will not normally be permitted within the Norfolk Coast Area of Outstanding Natural Beauty (AONB) unless it can be demonstrated that the proposal will not negatively impact on the landscape setting and scenic beauty of the AONB or on the landscape setting of the AONB if outside the designated area. Proposals for uses adversely affecting Sites of Special Scientific Interest (SSSIs) or European Sites will be refused permission.</p> <p>Conditions to be applied to new holiday accommodation</p> <p>Where development is permitted in the open countryside for new holiday accommodation, it is essential that such uses are genuine and will be operated and maintained as tourist facilities in the future. To achieve this aim, occupancy conditions will be placed on future planning permissions requiring that:</p> <ul style="list-style-type: none"> • the accommodation is occupied for holiday purposes only and shall be made available for rent or as commercial holiday lets; • the accommodation shall be for short stay accommodation only (no more than 28 days per single let) and shall not be occupied as a person's sole or main place of residence; and • the owners / operators shall maintain an up-to-date register of lettings / occupation and shall make this available at all reasonable times to the Local Planning Authority.
DM 12	STRATEGIC ROAD NETWORK	<p>The Strategic Road Network within the Borough, comprising the A10, A17, A47, A134, A148, A149, A1101 & A1122 and shown on the Policies Map, will be protected as follows outside of the settlements specified within Core Strategy policy CS02:</p> <ul style="list-style-type: none"> • new development, apart from specific plan allocations, will not be permitted if it would include the provision of vehicle access leading directly onto a road forming part of this Strategic Road Network; • new development served by a side road which connects to a road forming part of the Strategic

		<p>Road Network will be permitted provided that any resulting increase in traffic would not have a significant adverse effect on:</p> <ul style="list-style-type: none"> • the route's national and strategic role as a road for long distance traffic • highway safety • the route's traffic capacity • the amenity and access of any adjoining occupiers. <p>In appropriate cases a Transport Assessment will be required to demonstrate that development proposals can be accommodated on the local road network, taking into account any infrastructure improvements proposed.</p> <p>Policy CS11 of the Adopted Core Strategy sets out the transport requirements for development proposals to demonstrate that they accord with. Paragraph 013 - Transport Assessments and Statements of the Planning Practice Guidance should also be considered.”</p>
DM 13	RAILWAY TRACKBEDS	<p>The following existing and former railway trackways and routes, as indicated on the Policies Map, will be safeguarded from development which would prejudice their potential future use for paths, cycleways, bridleways, new rail facilities, etc. unless the proposals for trackway use are accompanied by appropriate alternative route provision that makes the safeguarding unnecessary:</p> <ul style="list-style-type: none"> • King's Lynn Harbour Junction - Saddlebow Road; • King's Lynn east curve; • King's Lynn docks branch to Alexandra Dock and Bentinck Dock; • Denver - Wissington; • King's Lynn to Hunstanton; and • part of the former King's Lynn to Fakenham line route from the West Winch Growth Area to the Bawsey/Leziate countryside sports and recreation area. <p>The King's Lynn docks branch (as above) will, however, not be safeguarded to the extent this</p>

		compromises port operations within the Port Estate.
DM 14	DEVELOPMENT ASSOCIATED WITH THE NATIONAL CONSTRUCTION COLLEGE, BIRCHAM NEWTON AND RAF MARHAM	<p>The Council strongly supports the roles that the National Construction College, Bircham Newton and RAF Marham play as local employers and as centres of excellence for construction and advanced engineering respectively.</p> <p>The Council will adopt a positive approach to new development to improve these facilities.</p> <p>Non-operational 'enabling' development which supports the retention, enhancement or expansion of these facilities will be permitted where it can be demonstrated</p> <ul style="list-style-type: none"> • that the development will enhance the facility's long term value to the Borough's economy and employment; and • there are robust mechanisms to ensure the improvements justifying the enabling development are delivered and sustained; and • the resulting development will not undermine the spatial strategy set out in Core Strategy Policy CS01; and • it will not result in the loss of land needed for operation of the facility, or reduce its reasonably foreseeable potential to expand or be reconfigured.
DM 15	ENVIRONMENT, DESIGN AND AMENITY	<p>Development must protect and enhance the amenity of the wider environment including its heritage and cultural value. Proposals will be assessed against their impact on neighbouring uses and their occupants as well as the amenity of any future occupants of the proposed development. Proposals will be assessed against a number of factors including:</p> <ul style="list-style-type: none"> • heritage impact; • overlooking, overbearing, overshadowing; • noise; • odour; • air quality; • light pollution; • contamination; • water quality and

		<ul style="list-style-type: none"> • visual impact. <p>The scale, height, massing, materials and layout of a development should respond sensitively and sympathetically to the local setting and pattern of adjacent streets including spaces between buildings through high quality design and use of materials.</p> <p>Development that has a significant adverse impact on the amenity of others or which is of a poor design will be refused.</p> <p>Development proposals should demonstrate that safe access can be provided and adequate parking facilities are available.</p>
DM 16	PROVISION OF RECREATIONAL OPEN SPACES FOR RESIDENTIAL DEVELOPMENTS	<p>All new residential development will be expected to make adequate provision for open space to the following standards:</p> <p>Schemes of up to 19 units will ensure that their schemes contain sufficient space to ensure a high standard of layout and amenity to the residents of the proposed development and to ensure that the scheme integrates into the wider landscape setting. On windfall sites the requirement to provide open space will apply where the Council considers that the proposed development forms part of a larger site which, if developed, would result in a requirement for a proportion of (or contribution to) open space.</p> <p>Schemes of 20 units or greater will provide 2.4 hectares of open space per 1000 population comprising approximately:</p> <ul style="list-style-type: none"> • 70% for either amenity, outdoor sport, and allotments (see below) and • 30% for suitably equipped children's play space • developments of 20 – 99 dwellings will be expected to meet the requirement for suitably equipped children's play space only; • developments of 100 dwellings and above will be expected to meet the whole requirement. • on sites allocated for residential development through the Local Plan process, and where development of the whole site results in a requirement for a proportion of (or contribution to) open space, the requirement to provide open space will apply to the whole of a single allocated site, even if it is developed incrementally (through sub-division etc).

		<p>All proposals involving the provision of publicly accessible areas of open space must include robust arrangements for the management and future maintenance of that open space. The Council may take on and adopt areas of public open space within developments, subject to bringing the scheme up to an appropriate standard and the payment of an appropriate fee.</p> <p>The Council will adopt a flexible approach to the types of open space required within a particular scheme only where it can be demonstrated :</p> <ul style="list-style-type: none"> i) that there is excess provision available in the locality, or ii) where opportunities exist to enhance existing local schemes, or iii) the townscape or other context of the development is such that the provision of open space is not desirable. <p>The Council will provide full details on the provision and maintenance of open space within Supplementary Planning Guidance.</p> <p>Allotments</p> <p>The Council will seek to resist the loss of allotments in areas where there is a current or predicted demand for such facilities, unless the loss were to be offset by alternative provision of an equal or higher quality in the vicinity. The provision of new allotments may be sought in locations for large-scale residential development (such as the strategic allocations) where there is an identified need. This will be balanced against the need for other types of recreational space and facilities and the financial viability of any development.</p>
DM 17	PARKING PROVISION IN NEW DEVELOPMENT	<p>Residential dwellings</p> <p>New dwellings (including flats and maisonettes) will be required to include car parking to the following minimum standards:</p> <ul style="list-style-type: none"> a. one bedroomed unit – 1 space per dwelling; b. two or three bedroomed unit – 2 spaces per dwelling; c. four or more bedroomed unit – 3 spaces per dwelling.

		<p>This provision may include under-croft parking and car ports providing these have no other use, but garages under 7m x 3m (internal dimensions) will not be counted.</p> <p>Reductions in car parking requirements may be considered for town centres, and for other urban locations where it can be shown that the location and the availability of a range of sustainable transport links is likely to lead to a reduction in car ownership and hence need for car parking provision.</p> <p>Each dwelling will also be required to provide a minimum of one secure and covered cycle space per dwelling.</p> <p>Other developments</p> <p>For developments other than dwellings car parking provision will be negotiated having regard to the current standards published by Norfolk County Council.</p>
DM 18	COASTAL FLOOD RISK HAZARD ZONE (HUNSTANTON TO DERSINGHAM)	<p>This policy applies within the Coastal Flood Risk Hazard Zone as defined on the Policies Map.</p> <p>New Developments</p> <p>The following developments will not be permitted within Tidal Flood Zone 3 (including climate change) as designated on the Strategic Flood Risk Assessment (SFRA) Maps:</p> <ul style="list-style-type: none"> • new dwellings; • new or additional park homes/caravans. <p>Replacement Dwellings</p> <p>Replacement dwellings will only be permitted in Tidal Flood Zone 3 where all of the following seven criteria are satisfied:</p> <ul style="list-style-type: none"> • a Flood Risk Assessment (FRA) must be undertaken for the development; • all habitable accommodation will be provided above ground floor level (habitable accommodation would usually include bedrooms, sitting rooms, dining rooms, kitchens and any other room designed for habitation. Rooms that are not normally used for living in, such as toilets, storerooms, pantries, cellars and garages, are not considered to be habitable);

		<ul style="list-style-type: none"> • the dwelling will only be occupied between 1st April and 30th September in any one year; • the dwelling will incorporate flood mitigation and resiliency measures in accordance with the Department for Communities and Local Government publication: “Improving the flood performance of new buildings, flood resilient construction” (2007); • the building must be appropriately designed to withstand and be resilient to hydrostatic pressure resulting from a breach/overtopping of the tidal defences; • a flood warning and evacuation plan will be prepared for the property and retained on site; • the level of habitable accommodation provided by the new dwelling would not be materially greater than that provided by the original dwelling. Proposals should not result in an increase in the number of bedrooms over and above the number in the original dwelling. <p>Extensions</p> <p>Extensions to existing properties (beyond any Permitted Development Rights that could be exercised) should not materially increase the amount of habitable rooms. Significant extensions or those that raise the amount of habitable rooms in the property could lead to an increase in the number of people at risk and will not be permitted.</p> <p>Change of Use</p> <p>Any proposed Change of Use will not be permitted if, as a result of the change, the flood risk vulnerability (as defined in the National Planning Practice Guidance) would be increased.</p> <p>Seasonal Occupancy</p> <p>Seasonal occupancy will be limited to between 1 April and 30 September. Applications to remove, relax or vary (by way of extension) any existing seasonal occupancy condition will be resisted.</p>
DM 19	GREEN INFRASTRUCTURE / HABITATS MONITORING AND MITIGATION	<p>Opportunities will be taken to link to wider networks, working with partners both within and beyond the Borough.</p> <p>The Council supports delivery of the projects detailed in the Green Infrastructure Study including:</p>

		<ul style="list-style-type: none"> • the Fens Waterway Link- Ouse to Nene; • the King's Lynn Wash/Norfolk Coast Path Link; • Gaywood Living Landscape Project; • the former railway route between King's Lynn and Hunstanton; and • Wissey Living Landscape Project. <p>The Council will identify, and coordinate strategic delivery, with relevant stakeholders, of an appropriate range of proportionate green infrastructure enhancements to support new housing and other development and mitigate any potential adverse effects on designated sites of nature conservation interest as a result of increased recreational disturbance arising from new development. All new development must ensure there is no adverse effect on a European Protected Site through the provision of appropriate measures. These enhancements will be set out in a Green Infrastructure Delivery Plan.</p> <p>Major development will contribute to the delivery of green infrastructure, except:</p> <ul style="list-style-type: none"> • where it can be demonstrated the development will not materially add to the demand or need for green infrastructure. <p>Where such a contribution would make the development unviable, the development will not be permitted unless:</p> <ul style="list-style-type: none"> • it helps deliver the Core Strategy; and • the relevant contribution to that Strategy could not be achieved by alternative development, including in alternative locations or in the same location at a later time; or • unless the wider benefits of the proposed development would offset the need to deliver green infrastructure enhancements. <p>More detailed local solutions based on the Green Infrastructure Strategy will be developed for Downham Market and Hunstanton, particularly in relation to the main growth areas and King's Lynn and surrounding settlements.</p> <p>In relation to Habitats Regulations Assessment</p>
--	--	---

		<p>monitoring and mitigation the Council has endorsed a Monitoring and Mitigation Strategy including:</p> <ul style="list-style-type: none"> • project level HRA to establish affected areas (SPA, SAC, RAMSAR) and a suite of measures including all / some of: • provision of an agreed package of habitat protection measures, to monitor recreational pressure resulting from the new allocations and, if necessary, mitigate adverse impacts before they reach a significant threshold, in order to avoid an adverse effect on the European sites identified in the HRA. This package of measures will require specialist design and assessment, but is anticipated to include provision of: <ul style="list-style-type: none"> i. A monitoring programme, which will incorporate new and recommended further actions from the Norfolk visitor pressure study (anticipated to be completed in Spring 2016) as well as undertaking any other monitoring not covered by the County-wide study. ii. Enhanced informal recreational provision on (or in close proximity to) the allocated site [Sustainable Accessible Natural Greenspace], to limit the likelihood of additional recreational pressure (particularly in relation to exercising dogs) on nearby relevant nature conservation sites. This provision will be likely to consist of an integrated combination of: <ol style="list-style-type: none"> 1. informal open space (over and above the Council's normal standards for play space); 2. landscaping, including landscape planting and maintenance; 3. a network of attractive pedestrian routes, and car access to these, which provide a variety of terrain, routes and links to the wider public footpath network. <ul style="list-style-type: none"> iii. contribution to enhanced management of nearby designated nature conservation sites and/or alternative green space; iv. a programme of publicity to raise awareness of relevant environmental sensitivities and of alternative recreational opportunities.
--	--	---

		<p>Notwithstanding the above suite of measures the Borough Council will levy an interim Habitat Mitigation Payment of £50 per house to cover monitoring/small scale mitigation at the European sites. The amount payable will be reviewed following the results of the 'Visitor Surveys at European Sites across Norfolk during 2015 and 2016'.</p> <ul style="list-style-type: none"> • the Borough Council anticipates utilising CIL receipts (should a CIL charge be ultimately adopted) for contributing to green infrastructure provision across the plan area. • forming a HRA Monitoring and Mitigation and GI Coordination Panel to oversee monitoring, provision of new green infrastructure through a Green Infrastructure Delivery Plan and the distribution of levy funding.
DM 20	RENEWABLE ENERGY	<p>Proposals for renewable energy (other than proposals for wind energy development) and associated infrastructure, including the landward infrastructure for offshore renewable schemes, will be assessed to determine whether or not the benefits they bring in terms of the energy generated are outweighed by the impacts, either individually or cumulatively, upon:</p> <ul style="list-style-type: none"> • sites of international, national or local nature or landscape conservation importance, whether directly or indirectly, such as the Norfolk Coast Area of Outstanding Natural Beauty (AONB), Sites of Special Scientific Interest (SSSIs) and Ramsar Sites; • the surrounding landscape and townscape; • designated and un-designated heritage assets, including the setting of assets; • ecological interests (species and habitats); • amenity (in terms of noise, overbearing relationship, air quality and light pollution); • contaminated land; • water courses (in terms of pollution); • public safety (including footpaths, bridleways and other non-vehicular rights of way in addition to vehicular highways as well as local, informal pathway networks); and • tourism and other economic activity.

		<p>In addition to the consideration of the above factors, the Borough Council will seek to resist proposals where:</p> <ul style="list-style-type: none"> a) there is a significant loss of agricultural land; or b) where land in the best and most versatile grades of agricultural land are proposed to be used. <p>Development may be permitted where any adverse impacts can be satisfactorily mitigated against and such mitigation can be secured either by planning condition or by legal agreement.</p>
DM 21	SITES IN AREAS OF FLOOD RISK	<p>Where the Borough Council has allocated sites in flood risk Zones 2 and 3 or flood defence breach Hazard Zones identified by the Council's Strategic Flood Risk Assessment or more recent Environment Agency mapping:</p> <ol style="list-style-type: none"> 1. these will be subject to (and no relevant planning permission will be granted before): <ul style="list-style-type: none"> • a site specific flood risk assessment satisfactorily demonstrating the development will be safe for its lifetime, taking climate change into account, and with regard to the vulnerability of its users, without increasing flood risk elsewhere and, where possible, reducing flood risk overall; and • satisfactory demonstration that any design or development features necessary to address flood risk issues are compatible with heritage assets in the vicinity (including conservation areas and listed buildings), local visual amenity and (where relevant) the landscape and scenic beauty of the Norfolk Coast Area of Outstanding Natural Beauty. 2. the sequential test set out in the National Planning Policy Framework (NPPF) policy 101 is deemed to be met by the allocation process, as set out in the Planning Practice Guidance - Flood Risk and Climate Change, so that development is, as far as reasonably possible, located where the risk of flooding (from all sources) is lowest. <p>2. in relation to the exceptions test set out in the</p>

		<p>NPPF policy 102:</p> <ul style="list-style-type: none"> • the first part (demonstration of wider sustainability benefits) is deemed to be met by the allocation process; and • the second part (site specific flood risk assessment, etc.) is not deemed to be met by the allocation process, and shall remain the responsibility of the prospective developer. No relevant planning permission shall be granted unless and until this second part of the test is met, as set out in section 1 of this policy, above • for further information, reference is made to Appendix 3 and Appendix 4 <p>The Borough Council will take into account advice from the Lead Local Flood Authority and the King's Lynn and West Norfolk Settlements Surface Water Management Plan to ensure that where a serious and exceptional risk of surface water flooding exists adequate and appropriate consideration has been given to mitigating the risk. Mitigation measures should minimise the risk of flooding on the development site and within the surrounding area.</p> <p>4. the design of new dwellings will be in accordance with the Environment Agency/Borough Council Flood Risk Design Guidance (Appendix 5) The Borough Council will take into account advice from the Lead Local Flood Authority and the King's Lynn and West Norfolk Settlements Surface Water Management Plan to ensure that where a serious and exceptional risk of surface water flooding exists adequate and appropriate consideration has been given to mitigating the risk. Mitigation measures should minimise the risk of flooding on the development site and within the surrounding area.</p>
DM 22	PROTECTION OF LOCAL OPEN SPACE	<p>The Council will have careful regard to the value of any area of open space when assessing planning applications for development. In assessing the contribution that an area of open space plays, the Council will consider the following factors:</p> <ul style="list-style-type: none"> • public access; • visual amenity; • local distinctiveness; • landscape character;

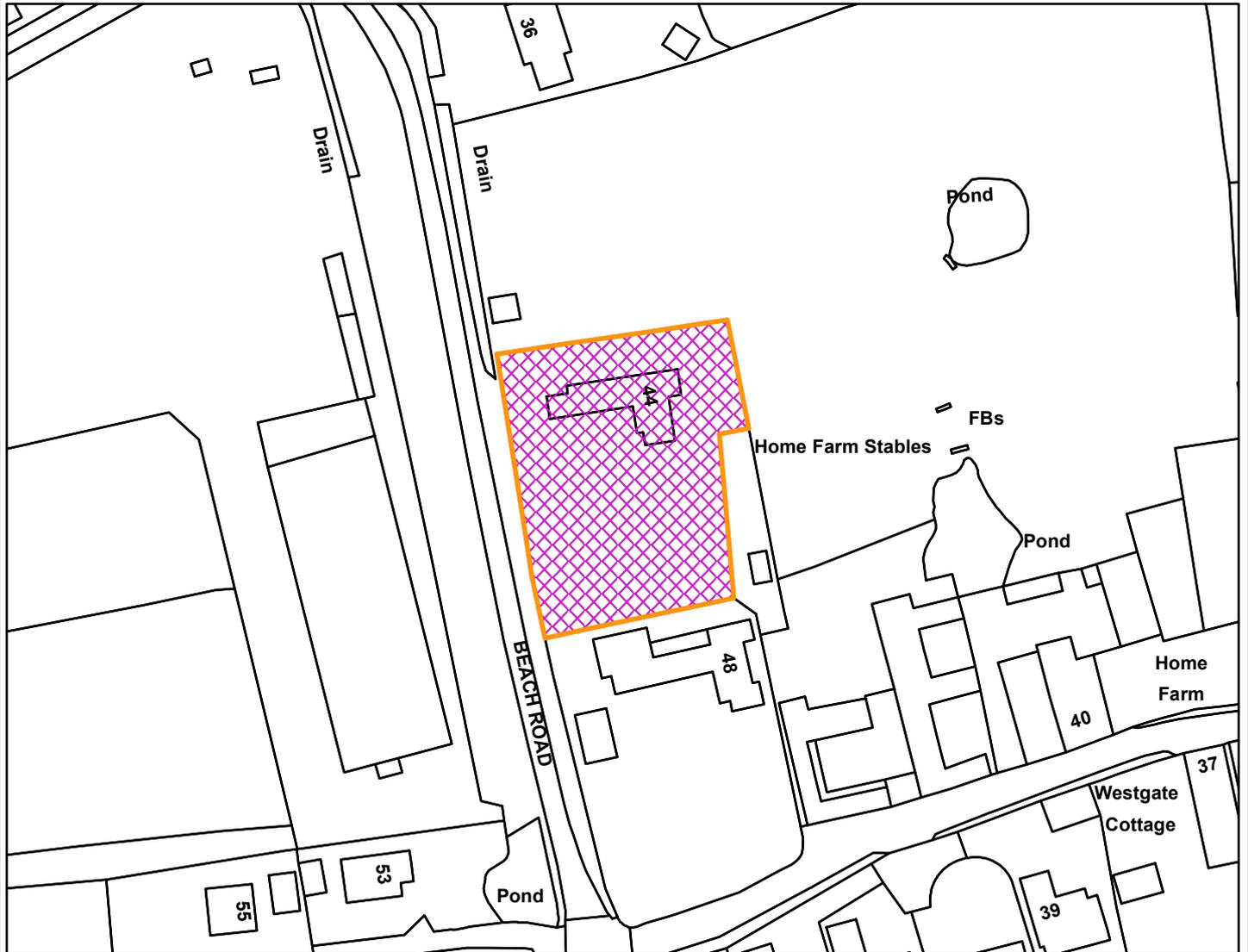
		<ul style="list-style-type: none"> • recreational value; • biodiversity, geodiversity; • cultural value and historic character; • whether the site has been allocated for development in the local plan. <p>Proposals that will result in the loss or restriction of access to locally important areas of open space will be refused planning permission unless such loss can be offset by the replacement of equivalent or higher standard of provision or the wider benefits of allowing development to proceed outweigh the value of the site as an area of open space.</p> <p>The Borough Council will support local communities in designating local green space for protection in neighbourhood plans where this:</p> <ul style="list-style-type: none"> • meets the criteria for local green space as detailed in the National Planning Policy Framework; and • does not conflict with other policies in the Borough's Local Plan.
--	--	---

**INDEX OF APPLICATIONS TO BE DETERMINED
BY THE PLANNING COMMITTEE AT THE MEETING
TO BE HELD ON TUESDAY 7th MAY 2024**

Item No.	Application No. Location and Description of Site Development	PARISH	Recommendation	Page No.
9/1 OTHER APPLICATIONS/APPLICATIONS REQUIRING REFERENCE TO THE COMMITTEE				
9/1(a)	22/01970/F Brownsea 44 Beach Road Holme next The Sea Norfolk PE36 6LG Replacement dwelling.	HOLME NEXT THE SEA	APPROVE	33
9/1(b)	23/01571/F 6 Howards Close Old Hunstanton Hunstanton Norfolk PE36 6HR 2 storey and first floor front extension; rear single storey extension; replacement dormer to rear including increased size.	OLD HUNSTANTON	APPROVE	55
9/1(c)	24/00138/F Land Between 6 And 10 Teal Close Snettisham Norfolk PE31 7RE Construction of one single storey dwelling with parking and garaging.	SNETTISHAM	APPROVE	68
9/1(d)	23/01375/F Land S of 4A To 7A Furlong Road Stoke Ferry Norfolk PE33 9SU VARIATION OF CONDITIONS 7, 9, 11, 14, 15, 16, 18, 19 AND 21 OF PLANNING PERMISSION 21/01226/F: Proposed two-storey new dwelling with garage.	STOKE FERRY	APPROVE	84
9/1(e)	23/02244/F Church of St Mary Church Road Wimbotsham Norfolk PE34 3QL A single storey monopitch extension to the south of the church, Air Source Heat Pump (ASHP) and enclosure to the south-west of churchyard, integrated PV panels to the south slope of the Nave roof and external landscaping works.	WIMBOTSHAM	REFUSE	100



Brownsea 44 Beach Road Holme next The Sea Norfolk PE36 6LG



Legend

33

Scale: 1:1,250

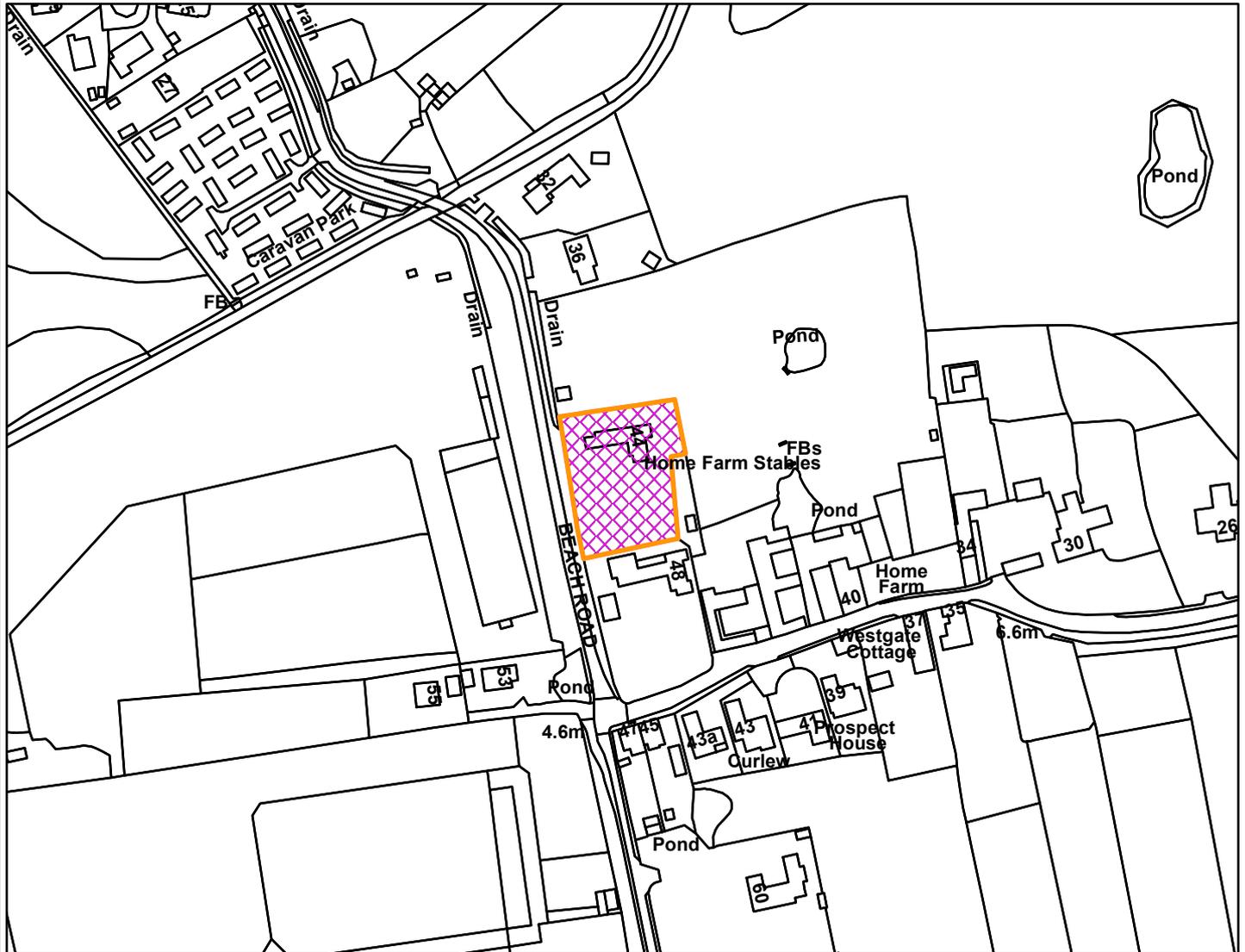
Reproduced from the Ordnance Survey map with permission of the Controller of His Majesty's Stationery Office © Crown Copyright 2023.

Unauthorised reproduction infringes Crown Copyright and may lead to prosecution or civil proceedings.

Organisation	BCKLWN
Department	Department
Comments	Not Set
Date	24/04/2024
MSA Number	0100024314



Brownsea 44 Beach Road Holme next The Sea Norfolk PE36 6LG



Legend

[Empty legend box]

Scale: 1:2,500

Reproduced from the Ordnance Survey map with permission of the Controller of His Majesty's Stationery Office © Crown Copyright 2023.

Unauthorised reproduction infringes Crown Copyright and may lead to prosecution or civil proceedings.

Organisation	BCKLWN
Department	Department
Comments	Not Set
Date	24/04/2024
MSA Number	0100024314

Parish:	Holme next the Sea	
Proposal:	Replacement dwelling	
Location:	Brownsea 44 Beach Road Holme next The Sea Norfolk PE36 6LG	
Applicant:	N Williamson	
Case No:	22/01970/F (Full Application)	
Case Officer:	Lucy Smith	Date for Determination: 28 February 2023 Extension of Time Expiry Date: 8 December 2023

Reason for Referral to Planning Committee – Referred by Sifting Panel

Neighbourhood Plan: Yes

Case Summary

The application seeks full planning permission for the construction of a replacement dwelling at Brownsea, 44 Beach Road, Holme next the Sea.

The application site is within the Conservation Area and is within Flood Zones 2 & 3 of the Borough Council's SFRA (2018). The site is also within the Norfolk Coast National Landscape.

Key Issues

- Principle of development
- Design, Heritage Impacts and Impacts on the Conservation Area
- Impact on the National Landscape
- Trees and Loss of Hedgerows
- Impact on Neighbours
- Highway safety
- Flood risk
- Other material considerations

Recommendation

APPROVE

THE APPLICATION

The applications seeks full planning permission for the construction of a replacement dwelling at Brownsea, 44 Beach Road, Holme next the Sea.

The application site is within the Conservation Area, Norfolk Coast National Landscape and is within Flood Zones 2 & 3 of the Borough Council's SFRA (2018).

The application has been amended during the course of this application to redesign the dwelling following concerns raised by the Parish Council and the Conservation Team. The proposed dwelling is positioned in a similar position to the existing, set back further from existing hedgerows and trees along the site boundaries. The dwelling is proposed to be positioned approximately 10m from the north boundary (2m greater than existing), 10.5m from the east boundary (approx. equal to existing), 16m from the front (west) boundary (5m more than the existing) and 24.5m from the south boundary (6m less than existing).

The proposed dwelling comprises a two-storey element to the north, with single storey projection to the south creating a courtyard area in the centre of the dwelling and garden area to the south. Catslide dormers are proposed in part of the roof slope.

The car port is a detached open fronted single storey outbuilding proposed between the dwelling and the road, set back approximately 7m behind the highway verge and what is left of previous hedgerow boundary features.

The dwelling includes a varied ridge line which breaks up the bulk of the development and includes a mix of materials which are typical to Holme next the Sea - Cobbled flint infill panels, clay pantiles, natural timber cladding.

The existing dwelling is positioned with side elevation facing the street, and the bulk of the development (the tallest part) in the northeast corner of the site. The ridge of the tallest part of the existing dwelling measures approx. 7.7m from ground level, with eaves at 5.8m. The ridge of the proposal is taller, at approx. 8.2m from ground level, however eaves are lower at 5.2m.

The remainder of the proposed dwelling is set down in height compared to the main section, with the other two storey element at a total height of 7.7m, and the single storey element at 5m.

The application site has previously been granted consent for the removal of trees in a Conservation Area under separate legislation. This has left the front boundary of the site adjoining Beach Road as more open than in recent history, however the site as a whole remains spacious and verdant and contributes to the setting of Holme next the Sea as a Smaller Village and Hamlet.

SUPPORTING CASE

None received at time of writing.

RELEVANT PLANNING HISTORY

22/00202/TREECA: Tree Application - No objection: 24/11/22 - T1 - eucalyptus. Fell. T2 - poplar. Fell T3 - apple. Fell R1 - mixed hedge (prunus, hawthorn, dead elm - Remove - Brownsea

Planning Committee
7 May 2024

19/00119/TREECA: Tree Application - No objection: 29/08/19 - Trees in a Conservation Area: T1, T2 Willow - Remove. TG1 Mixed spp - Reduce height of group to 2.5m and trim on an annual cycle to maintain at broadly reduced dimensions. TG3 4 x Lime - Clay shrinkage subsidence damage at Farm Corner, PE36 6LG - Brownsea

CONSULTATION RESPONSES:

Parish Council: OBJECTION, the comments summarised as follows:

Large public response to this application, all of which are objections focused on demolition impacts, scale/appearance and impacts on the Conservation Area and street scene character

Loss of the hedgerow and trees along the site frontage to prepare the development has caused lasting damaged to the Conservation Area & National Landscape (previously AONB) Beach Road is a key route for tourist visitors to the area
Since original submission, a local history group has researched the house, the research indicates that four houses of similar design were built by Shirley Harrison architects and as a group make a contribution to the character and heritage of Holme. The loss of the dwelling would therefore be harmful.

Design is contrary to HNTS12 - Conservation Area impacts. Whilst design has improved however the Parish Council do not consider its scale, height, massing etc reflect the requirements of the policy.

The proposed dwelling does not sit as well in its plot, has large expanses of glazing and is substantially two storey, taller than the existing dwelling.

The dwelling should be considered a non-designated heritage asset and should be considered to have 'significant merit', questioning over whether the Conservation Team have visited the site.

Proposed garage placed to the front of the house will be intrusive.
First floor balcony would overlook Holme Stables which is a neighbouring property and important tourist draw.

Provision of a large dwelling would dominate the street scene and replacement landscaping would take years to mature.

Application proposes a dwelling which is too large in relation to HNTS 16 and HNTS 17. When including the garage outbuilding in the measurements, the total area is 357sqm which is in excess of 40% greater.

Application fails the Sequential Test, there is no proven need for the development, development sites elsewhere in the Borough would allow construction of replacement dwellings in lower flood zones.

HNTS 2 seeks to prevent development in the Flood Risk Area in line with the NPPF.
To pass the exceptions test, development must provide wider sustainability benefits to the community AND be safe for its lifetime. No wider sustainability benefits are described, and a large dwelling would damage the balance of housing stock (HNTS 16/17) and damage the street scene (HNTS 11) and be at odds with HNTS 7.

Planning Committee
7 May 2024

The development would also destroy a non-designated heritage asset, and the loss of hedgerows is further at odds with policies protecting the National Landscape.

No evidence that the Exception Test has been requested or provided **Note: the Exceptions Tests is the Local Planning Authority's responsibility to complete and takes place below**

The EA state it is the LPA's responsibility to ensure the property is safe for its lifetime and Holme Parish Council consider it is not. The site has no safe access/egress in the event of a flood.

Application makes no reference to impacts of Surface Water Flooding.

Overall, the proposes are contrary to HNTS1: Principle of Sustainable Development and HNTS7 Natural Capital and Ecosystem Services insofar as they fail to respect the natural capital and ecosystem services generated by the Parish (including its heritage assets).

The proposal fails to take opportunities to secure a positive impact on habitats or to have due regard to the status of the National Landscape where great weight should be given to conserving and enhancing landscape and scenic beauty and where the conservation of wildlife and cultural heritage are important considerations (NPPF 176).

Note – within their response, Holme Parish Council refer to their earlier response received January 2023. The majority of the comments within that original response were reiterated in their later response and are included in the summary above. The differences between the documents mainly relate to the research into Brownsea as a non-designated heritage asset, and specific design concerns which are no longer relevant due to the amended plans received.

Local Highway Authority: NO OBJECTION subject to standard access/turning area condition.

Environment Agency: NO OBJECTION provided detailed comments relating to flood risk impacts, lack of resilience measures being detailed, lack of access/egress in flood event, and need for an evacuation plan.

Emergency Planner: NO OBJECTION Thank you for consulting me on the changes on this application. Because the ground floor includes sleeping accommodation I would strongly advise that if not done already the occupiers:

Should sign up to the Environment Agency flood warning system (0345 988 1188 or www.gov.uk/flood)

A flood evacuation plan should be prepared (more details at www.gov.uk/flood):

This will include actions to take on receipt of the different warning levels.
Evacuation procedures e.g. isolating services and taking valuables etc
Evacuation routes

Environmental Quality: NO OBJECTION, recommended asbestos informative.

Historic Environment Service: NO OBJECTION, no known archaeological implications.

Conservation Officer: NO OBJECTION, comments summarised as follows:

16.04.2024 – ‘Following our further comments to you in February, we note that no changes to the scheme have been submitted by the agent. However, in line with our comments submitted, we do not object to the proposal as it stands.

Please consider conditions relating to the following;

- Joinery details
- Details of all external materials including a sample panel
- Landscaping scheme – hard and soft
- Rainwater goods
- Extractor vents and flues’

19.02.2024 The Conservation Officer provided detailed responses to the claims of the Parish Council with regard to the dwelling being a non-designated heritage asset. The comments are summarised as follows, and discussed in depth within the report below:

- Brownsea is of some local interest (communal value), a local history society has recently taken some interest in the buildings and a group.
- Brownsea is the work of Shirley Harrison of Stockdale Harrison & Sons who are responsible for Listed Buildings in Leicester and beyond. This is evidential value.
- Four dwellings are linked by Holme Parish Council – Brownsea, Little Holme, Seagate and Farm Corner (No.48 Beach Road, an adjoining neighbour). Only No.48 is included as an ‘important unlisted building’ within the Conservation Area Character Statement. As a group of 4 they share little which would mark them out as being by the same architect.
- Some of the existing dwelling’s features are typical of the practice’s work however it is not necessarily representative of their typical domestic architecture at the time
- The building can be considered a non-designated heritage asset, has aesthetic value and fits well into the landscape, it has historic value in that it is an example of neo-classicism architectural style.
- The building is deteriorating and suffering from damp and vegetation ingress. Its likely that repairing the building as it stands would lead to significant loss of historic fabric.

Historic England: NO COMMENT ‘Historic England provides advice when our engagement can add most value. In this case we are not offering advice. This should not be interpreted as comment on the merits of the application.’

CAAP: the Conservation Area Action Panel originally objected to the submitted scheme, which has since been redesigned. To date, no further comments on the revised scheme have been submitted.

Arboricultural Officer: Recommended submission of Arboricultural Impact Assessment, with the following comments (summarised):

- The application site was not supported by arboricultural information to allow full assessment of the impact on trees.
- It is apparent that almost all the vegetation along the front of the site has been removed leaving the whole site very open and making it very different from the rest of Beach Road.
- The arrangement of the North elevation may lead to increase in pressure from the increase of glazing along this elevation.

- A tree preservation order will help protect the trees. A more modest property moved away from the northern boundary by a few metres would reduce further any potential future conflict with these trees.
- If consent is granted, conditions should ensure that suitable level of arboricultural information comes forwards – an arboricultural report, tree protection details, site supervision, hard and soft landscaping details & implementation.
- Recommended pre-commencement condition relating to planting of a hedge along the front boundary.

REPRESENTATIONS NINETEEN letters of **OBJECTION** (FIVE received following re-consultation on amended plans), comments summarised as follows:

- Inappropriate development and poor design.
- Original scheme relocated to more prominent area and infills green space between dwellings.
- Loss of trees and impact on biodiversity and street scene character.
- Design does not reflect surrounding.
- Impact on Dark Skies.
- Loss of unique character of existing dwelling.
- Overlooking of adjoining properties.
- Dwelling is out of character with the local character.
- Dwelling is excessively large.
- Concern over construction vehicle parking.
Existing house is architecturally significant & well suited to the area.
- Run-off from hard surfacing to Beach Road.

LDF CORE STRATEGY POLICIES

CS01 - Spatial Strategy

CS02 - The Settlement Hierarchy

CS08 - Sustainable Development

CS11 – Transport

CS12 - Environmental Assets

SITE ALLOCATIONS AND DEVELOPMENT MANAGEMENT POLICIES PLAN 2016

DM1 – Presumption in Favour of Sustainable Development

DM2 – Development Boundaries

DM5 – Enlargement or Replacement of Dwellings in the Countryside

DM15 – Environment, Design and Amenity

NEIGHBOURHOOD PLAN POLICIES

HNTS 1: Principle of Sustainable Development

Policy HNTS7: Natural Capital and Ecosystem Services

Policy HNTS11: Street Scene, Character and Residential Environment

Policy HNTS12: Conservation Area

Policy HNTS13: Heritage Assets

Policy HNTS16: Replacement Dwellings

Policy HNTS17: Extensions, Annexes and Outbuildings

Policy HNTS20: AONB Landscape Quality

Policy HNTS22: Biodiversity

Policy HNTS25: Traffic and Car Parking

NATIONAL GUIDANCE

National Planning Policy Framework (NPPF)

Planning Practice Guidance (PPG)

National Design Guide 2021

PLANNING CONSIDERATIONS

The main considerations are:

Principle of development

Design, Heritage Impacts and Impacts on the Conservation Area

Impact on the National Landscape

Trees and Loss of Hedgerows

Impact on Neighbours

Highway safety

Flood risk

Other material considerations

Principle of Development:

The application seeks consent for the construction of a replacement dwelling in Holme Next The Sea. The principle of replacement dwellings is acceptable in accordance with Policy DM5 of the SADMPP (2016) and Policy HNTS 16 of the Neighbourhood Plan, subject to a suitable design coming forward.

Holme Neighbourhood Plan

A key concern of the Parish Council relates, in part, to the floor space requirements and policy HNTS 16.

Policy HNTS 16 specifies that replacement dwellings should not increase Gross Internal Floor Space by more than 40%. Measurements have taken place based on the definition of Gross Internal Floor Area provided within the Glossary of the Neighbourhood Plan.

The definition included in the Neighbourhood Plan document (IPMS 3) specifies that areas of upper floor stairwells, upper-level voids of an atrium, ground floor patios/decks, external car parking or other ground floor areas not fully enclosed are excluded from the definitions. External open sided balconies are included within the measurements.

The existing floor space of the property totals 222.5m² (176.5m² ground floor and 46m² first floor). 40% more than this is 311.5m².

The proposed dwelling, excluding covered areas to ground floor, first floor stairwell and the car port (discussed below) totals 312m² (201m² ground floor and 111m² first floor). This is only marginally above the 40% allowance (40.22%). The very minor increase in floor space above the required level would not form a reason for refusal for this application. The proposal is considered to comply with the overarching aims of the policy in regard to preventing substantial increases in the size of dwellings.

Policy HNTS 16 of the Neighbourhood Plan states that when calculating the GIFA of the original dwelling, outbuildings should be excluded. The existing garage on site is attached to the main dwelling and therefore has been included in the 'existing dwelling' calculations above. The policy does not however specifically address the situation of calculating the GIFA for the proposed dwelling where this includes outbuildings. It's reasonable to consider that proposed outbuildings are also excluded from the GIFA so as to ensure a like for like comparison. This approach was confirmed by the Inspector under application ref 21/00457/F (an application elsewhere in Holme).

Notwithstanding this, the car port (which has a GIA of 47m²) proposed is not-fully enclosed, parking areas that are not fully enclosed are specifically excluded from the RICS IPMS standards and therefore would not contribute to the overall floor space measurements discussed throughout this report. If the car port were to be included within the figure, the floor area would total 357sqm which aligns with the Holme Parish Council's calculations however, it is your officer's opinion that table 6 of the IPMS excludes the car port from the definition and therefore, the floor space meets the requirements of Policy HNTS16. As of the date of writing this report, the Parish Council have been asked for their views on this calculation and any further updates will be provided to Members via late representations.

Conditions can be used to ensure that the proposed carport is not enclosed by doors or other means and therefore is retained for parking whilst not contributing towards the GIFA. Conditions can be used to ensure that the proposed carport is not enclosed by doors or other means and therefore is retained for parking whilst not contributing towards the GIFA. This is consistent with the Eastgate Barn application which was determined by Members at the Planning Committee Meeting in July 2023 (22/01884/F).

To summarise, it is your Officer opinion that the GIFA of the proposed development complies with HNTS16 when the Neighbourhood Plan definition is taken into account as written. The dispute appears to stem from the inclusion of the car port within the proposed GIFA, which as per Table 6 of the IPMS standards should be excluded from the measurements as an 'External car parking and other ground floor areas that are not fully enclosed'

The principle of development therefore complies with the Development Plan, subject to consideration of design, heritage and other implications discussed in depth below.

Design, Heritage Impacts and Impacts on the Conservation Area

Policy Context

Policy HNTS 16 specifies that replacement dwellings must conserve and enhance landscape and scenic beauty and be appropriate to their location in the National Landscape (previously AONB).

The existing dwelling is of a traditional form and is sympathetic to the rural character of the immediate locality.

Policy HNTS 12 relates to protecting the setting of the Conservation Area and specifies that particular regard should be given to 'The effect of the proposal on the significance of any designated or non-designated heritage assets shown on the NDP Heritage and Conservation Area Maps. The application site is not shown as a non-designated heritage asset on this map. Despite this, Holme next the Sea Parish Council refer to the application site as a non-designated heritage asset due to research that was undertaken by the village history group during the course of this application.

The part of Policy HNTS 12 that refers to non-designated heritage assets does not therefore apply to the development; however, the remainder of the policy includes impacts on the Conservation Area as a whole, and the NPPF provides its own provisions for the consideration of non-designated heritage assets and therefore assessment takes place as follows.

The Existing Dwelling

Research into the history and architecture of Brownsea and a collection of 3 other similar dwellings along Beach Road (Farm Corner, Seagate and Little Holme) took place during the course of this application by a local history group. Brownsea is believed to have been the work of Shirley Harrison, the son of Stockdale Harrison, a well-known architect in the Leicester area. The architecture practice is responsible for various Listed Buildings in Leicester and beyond.

The conservation area appraisal document itself does not specifically mention the buildings on Beach Road, only that it is intensely rural in character and mature hedgerows are a key characteristic. Number 48 Beach Road (Farm Corner), south of Brownsea, is the only property of the 4 to be recognised as an 'important unlisted building' despite three of the four dwellings being in the conservation area.

Brownsea, and the other 3 dwellings do have some of the classical features which would be expected from the firm of Stockdale Harrison and Sons however the overall design is not entirely representative of the domestic architecture the firm typically produced. Irrespective of this, the four dwellings as a group share little that would clearly mark them out as being designed by the same architect however are alike in that they are low key and have assimilated well into the landscape. The group of dwellings do make some contribution to the Conservation Area and each dwelling could be considered a non-designated heritage asset.

Classification as a Non-designated Heritage Asset

The Conservation Team provided detailed advice on how to assess a non-designated heritage asset and its contributions to the Conservation Area.

When considering whether something is a non-designated heritage asset, the Conservation Team use Historic England's values to guide a response. these values are;

Aesthetic Value - Brownsea has assimilated well into the landscape and the proportions and materials are clearly of the area. It is a mixture of vernacular and polite architecture which

Planning Committee
7 May 2024

does not quite sit comfortably together as the portico appears rather attached onto the front for show rather than to actually achieve an architectural style.

Historical and Evidential Value – Brownsea is a product of the time and show the architectural style of neo classicism attempted in vernacular architecture, the link back to Shirley Harrison is further reference to its Historic Value and also to a degree of Evidential Value.

Communal Value – Brownsea is of some local interest and has a communal value in terms of the people who live in the village & have previously occupied the house or the other 3 houses.

Brownsea is therefore a non-designated heritage asset, and this is not disputed. However, rather than the style of the building and the fabric, it is considered that the form and scale, as well as the way it integrates into the street scene (aesthetic values) makes a greater contribution to the character and significance of the area than the architect who created them (evidential and historical).

Current Condition

The condition of the building itself is deteriorating. The building is suffering from damp and much vegetation ingress. There are large cracks through the building and water is coming in through the roof. Due to the extent of decay, it is highly likely that through the repair process, as well as the thermal upgrading required for living, that much original fabric would be lost in the process.

Assessment

The primary importance of Brownsea to the Holme Conservation Area seems to lie in its contribution to the street scene in terms of its form, scale, massing, and landscape treatment. These factors combine to make Brownsea a recessive building that retreats into the site and used to be hidden behind a mature hedge, retaining the rural feel of the street.

It is clear that the existing building has some local interest being of a good scale and form and being designed by a nationally known architecture practice.

The proposed plans for the replacement dwelling at Brownsea are, as revised, much more in keeping with the architecture of the area and are of a form which in many ways echoes that of the existing. The proposed car port will be set back behind replacement planting and is in a similar position to an existing larger outbuilding at No. 48 Beach Road.

The proposed scheme echoes the form of the existing building and uses vernacular materials commonly found elsewhere throughout the conservation area. Whilst comments from the Conservation Team relating to the lack of chimneys and breaking up the larger expanses of roof slope are noted, the overall design of the dwelling is reflective of the wider character of Holme next the Sea and maintains Brownsea's position and relationship with the street scene.

Conditions can be used to ensure that the landscaping scheme and other details come forward to further establish the dwelling within its plot without detriment to the character of the street scene. Mature planting along the west boundary can be specifically controlled via condition to replace what has previously been removed.

The Conservation Team raise no objection to the scheme on balance and subject to detailed conditions including landscaping (discussed below), materials, joinery, flues/extractor vents and rainwater goods.

As noted above, the proposed development is acceptable in design and its construction, in isolation, would have a neutral impact on the character and appearance of the Conservation Area.

Planning Balance

The demolition of a non-designated heritage asset will cause a degree of harm which must be balanced against public benefits in line with the NPPF (2023).

The application must also be considered against fallback positions provided by legislation such as the General Permitted Development Order which would allow substantial alterations to take place to the dwelling without the need for planning consent to be granted, for example rear extensions, additions/alterations to windows etc.

The existing dwelling is deteriorating and suffering from damp, vegetation ingress, water ingress and large cracks and in need of repair. It is likely therefore that, irrespective of whether planning permission is granted or not, that significant works would take place which would in their own right have an impact on the appearance of the dwelling and its aesthetic value as a non-designated heritage asset.

As discussed in more detail below, the proposed dwelling would provide some betterment in regard to flood risk and safety during a flood event.

Given the level of flood risk on site and the existing dwelling's lack of flood resistance and resilience measures, whilst no formal structural survey has been provided, it is clear that the current dwelling does not benefit from raised floor levels and is deteriorating to an extent that a larger flood event could lead to significant impacts on the structural integrity of the dwelling as well as significant impacts of the safety of any occupants.

The construction of a replacement dwelling would allow suitable flood resistant and resilience measures to be incorporated into the design and conditioned for retention throughout the property's lifetime. This is a benefit to the community which is considered to outweigh the lesser degree of harm identified to occur as a result of the loss of the non-designated heritage asset.

It is considered, on balance that the principle of demolition of the dwelling and replacement with a flood resistant dwelling of appropriate design is acceptable. For the reasons discussed above, the building's design, scale, height and massing are considered appropriate for the site's position within the settlement and Conservation Area. Subject to conditions, the design therefore complies with the overarching aims of the NPPF (2023) in regards to design and heritage assets, Policies CS08 and CS12 of the Core Strategy (2011), Policies DM5 and DM15 of the SADMPP (2016) and Policies 12, 16, 17, 20, 22 of the Holme Next The Sea Neighbourhood Plan.

Impact on the National Landscape

The application site is within the National Landscape (previously AONB). As a result of the design changes that have taken place during the course of this application, and considering the landscaping and materials details which will be controlled via condition, the proposal is not considered likely to lead to any adverse impacts on the National Landscape.

The street scene is intensely rural in character, with low density dwellings around a verdant street scene. The site will be viewed in association with the residential properties in either direction and the provision of appropriate landscaping, particular along the front street scene boundary will limit any visual impacts.

The application therefore complies with Policies NPPF (2023) in regards to design and heritage assets, Policies CS07, CS08 and CS12 of the Core Strategy (2011), Policies DM5 and DM15 of the SADMPP (2016) and Policies 12, 16, 17, 20, 22 of the Holme Next The Sea Neighbourhood Plan.

Trees and Loss of Hedgerows

Prior to this application being submitted, a mature hedgerow was removed from the front boundary, and various trees removed/cut back. This has left the site significantly more open and visible within the street scene compared to recent history. Consent was granted for this removal under application 22/00202/TREECA.

To date, the Applicant has not provided any detailed landscaping plans to show the reinstatement of this hedgerow either in whole or in part. It is clear however that landscaping will form an important part of integrating the new dwelling into the primarily verdant street scene. Therefore, full landscaping conditions are recommended, specifically that the front (west) boundary of the site should be replanted in accordance with a detailed scheme to be agreed by the LPA. This will soften the replacement dwelling within its context and resolve some of the issues raised by the Parish Council and neighbouring residents.

Considering the position of remaining trees/hedges across the site, no significant impacts are considered likely as a result of the proposed development. Alongside standard landscaping conditions, additional conditions can be used to ensure that no trees or hedgerows on site are removed without agreement from the Local Planning Authority. This will ensure that the final landscaping plans retain the majority of remaining existing trees which will protect what is left of the setting of the plot.

The Arboricultural Officer provided comments which referred to the pressure on the trees along the north boundary of the site due to the increase in glazing on the north elevation. The windows proposed on the north elevation primarily serve either non-habitable rooms or rooms which benefit from windows in other elevations. On the ground floor, the windows serve a plant room, utility room, a vaulted entryway/landing, a boot room and an ensuite. The entryway is also served by windows on the south elevation. At first floor, the windows serve bedroom 1, an ensuite, bedroom 4 and another ensuite. Bedroom 4 is the only habitable room on the north elevation which is not served by other windows.

Therefore, as a whole, it is considered that the internal layout of the dwelling is appropriately designed to minimise the pressure on the trees whilst continuing to respect the historic plot layout and position of the dwelling within the street scene acknowledged in the section above.

The Arboricultural Officer also recommended that the front boundary hedge is conditioned for replacement as a pre-commencement condition, due to the importance of verdant boundary treatments within the immediate street scene. These comments are noted; however, it is not considered necessary to strictly control the replacement hedgerow separately to the other landscaping conditions which require compliance prior to occupation of the unit. Members should consider the timing of the proposed landscaping conditions and whether this suitably controls the proposed developments landscaping and final appearance from the street scene.

The serving of a Tree Preservation Order on site could better control future impacts on the trees with merit. The Arboricultural Officer is considering the serving of a Tree Preservation Order on site as of the date of writing this report. In the interim, the trees as existing are protected by virtue of being in a Conservation Area, and recommended conditions will further control works without granting of consent by the Local Planning Authority.

The NPPG and PPG set out that Local Planning Authorities should consider the suitability of appropriately worded planning conditions to control adverse impacts. On the basis that planning conditions can suitably control landscaping details and ensure that mature species planting is utilised along the west boundary of the site, the impact on the character of the street scene and Conservation Area as a result of the development would be limited.

Subject to the aforementioned conditions, the impacts on trees are considered acceptable and comply with the NPPF (2023), Policies CS06, CS08 and CS12 of the Core Strategy (2011), Policy DM15 of the SADMPP (2024) and Policies 1, 7, 11, 12, 20 and 22 of the Holme Next the Sea Neighbourhood Plan.

Impact on Neighbours

The Parish Council responded with concerns that the proposed balcony will lead to loss of privacy for Holme Stables. The application site is well distanced from any of the private amenity spaces associated with Holme Stables (in excess of 90m). The balcony provides an outlook towards the large fields to the north of these properties and the existing pond. The amenity impacts associated with Holme Stables are therefore considered acceptable.

The nearest neighbour adjoins the site to the south. The proposed development is well-distance from this neighbour (in excess of 25m between the single storey element of this dwelling and the shared boundary) and any significant impacts in regard to overbearing/overlooking are therefore limited. The increase in floor levels for flood risk purposes (approx. 0.5m

As a result of the limited width and lack of parking provision on the adjacent road, a construction management plan (CMP) condition is recommended to ensure that parking for construction workers can take place safely and without dis-amenity impacts. Subject to a condition controlling the CMP, the impacts on neighbours are considered acceptable and comply with the NPPF (2023), Policies CS08 and DM15 of the Local Plan and Policy

Flood Risk

The application site is in Flood Zones 2 & 3 of the Borough Council's SFRA (2018). As a replacement dwelling, the sequential test is deemed to be passed however the proposal must pass the exceptions test and be considered safe for its lifetime.

The principle of a replacement dwelling complies with the local plan and the proposed plans demonstrate a betterment in regard to flood resistance and resilience measures, including raised floor levels. The application must be considered on the basis that the fall-back position is that of continued use of a dwelling that is stated by the applicants as being structurally compromised and where the existing dwelling has no known flood resilience measures in place.

The Environment Agency do not object to the application however put the onus on the LPA to consider flood risk implications in full. Conditions can be imposed to ensure that additional detail in regard to further flood resilience and resistance measures are provided and implemented prior to first occupation. This provides a safety benefit directly for the occupants of the dwelling.

Planning Committee
7 May 2024

Site levels vary from approx. 4.3m OD adjacent to the access point to 5m OD to the south. The existing house generally sits at between 4.4mOD and 4.65M OD. Therefore, flood depths on site are around 1.24m in the 0.5% (1 in 200) annual probability flood event including climate change. The flood risk assessment proposes a finished floor level of no less than 4.8mAOD and so whilst the ground floor (in the absence of detailed resistance measures) would be impacted in the event of a flood, the first-floor level (approx. 7.4m AOD) would provide safe refuge above the 0.5% AEP level. A first-floor level of 7.4m AOD is also above the 0.1% (1 in 1000) annual probability event, which has an estimated level of 6.57mAOD.

Given that safe refuge is identified as a fall-back mitigation measure it is important that the building is structurally resilient to withstand the pressures and forces (hydrostatic and hydrodynamic pressures) associated with flood water, as per the requirements of the PPG. Conditions can ensure details come forward once the structural calculations for the building are finalised.

The EA and the Parish Council's comments on access during a flood event are noted. An Emergency Flood Evacuation Plan can be conditioned. Considering there is no uplift in the number of residential units proposed, the provision of an evacuation plan is considered suitable to overcome this issue.

To conclude, this application seeks full planning permission for a replacement dwelling. The principle of residential use is established by the extant dwelling on site and therefore, the provision of a replacement dwelling will not increase the number residential units at risk in a flood event. Furthermore, the existing dwelling has no known flood resilience or resistance measures incorporated into its design. This application therefore provides a degree of betterment, proposing raised floor levels and a first-floor level which allows safe refuge. Conditions can be used to further ensure that the building is constructed to withstand hydrostatic pressure as well as to confirm additional resilience and resistance measures that can be incorporated into the scheme. This provides further betterment when compared to the unrestricted extant use. A flood evacuation plan will also be conditioned in line with the Emergency Planner's requirements.

As a whole, the proposal therefore complies with the overarching aims of the NPPF (2023) in regard to flood risk.

Other material impacts:

Highways – The application site's existing access will be retained as part of the development. Sufficient parking area is provided on site and has not drawn objection from the Local Highway Authority and the highway safety implications comply with Policies CS11 and DM15 of the Local Plan and Policy HNTS 25 of the Neighbourhood Plan.

Specific comments or issues:

Response to the Parish Council and Third Parties

The majority of comments from the Parish Council and within Third Party representations have been addressed within the main body of this report. The remaining comments are addressed as follows:

The Parish Council's comments with regards to the Sequential Test are noted, however it is not appropriate to state that other replacement dwellings could be built in completely different settlements and therefore the Sequential Test cannot be passed. Where the

Planning Committee
7 May 2024

sequential test is necessary, the Local Planning Authority's established protocol is that the sequential test takes place on a settlement-wide basis. The NPPF (2023) and PPG detail that the sequential test must be based on 'reasonably available' sites, and, suggesting that a dwelling could be built in Downham Market or Kings Lynn or East Rudham at a lower level of flood risk would be unreasonable. Notwithstanding that, as discussed in the Flood Risk section above, the application is for a replacement dwelling, does not increase the number of residential units at risk in the event of a flood and does not increase the vulnerability of the development in regard to Annex 3 of the NPPF and the sequential test is not required.

Comments on surface water flooding are noted. Conditions are recommended to ensure that foul and surface water drainage details come forward prior to commencement of development. Landscaping conditions can ensure that landscaping to the front of the dwelling remains permeable or has method to guide drainage away from Beach Road.

Neighbour comments refer to dark skies. The proposed dwelling has more glazing than the existing dwelling, some of which is partly shielded from wider views by reason of the courtyard shape. Conditions can be imposed to ensure that external lighting meets the requirements of HNTS 20. As the existing site is residential in nature, it is not considered necessary to further control glazing types to prevent any disturbance to wildlife. The impact on the National Landscape (previously AONB) is acceptable, and the landscape and scenic beauty of the village will be preserved.

CONCLUSION

The NPPF reiterates the provisions of Section 38(6) of the Planning and Compulsory Purchase Act 2004 which states that applications for planning permission must be determined in accordance with the development plan unless strong material considerations indicate otherwise.

It is considered, on balance that the principle of demolition of the dwelling and replacement with a flood resistant dwelling of appropriate design is acceptable. For the reasons discussed in detail above, the building's design, scale, height and massing are considered appropriate for the site's position within the settlement and within the Conservation Area. The flood resilience and resistance measures included within the design and controlled via condition are considered to outweigh the lesser degree of harm associated with the demolition of a non-designated heritage asset of local interest.

Conditions can control, drainage, flood resilience measures, landscaping details, impacts on existing trees and material details and ensure that the policies of the neighbourhood plan are complied with in regard to dark skies.

Subject to conditions, the design complies with the overarching aims of the NPPF (2023) in regard to design and heritage assets, Policies CS08 and CS12 of the Core Strategy (2011), Policies DM5 and DM15 of the SADMPP (2016) and Policies 12, 16, 17, 20, 22 of the Holme Next The Sea Neighbourhood Plan.

RECOMMENDATION:

APPROVE subject to the imposition of the following condition(s):

- 1 Condition: The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

1 Reason: To comply with Section 91 of the Town and Country Planning Act, 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act, 2004.

2 Condition: The development hereby permitted shall be carried out in accordance with the following approved plans:

*22033 03 Rev G *22033 02 Rev G

2 Reason: For the avoidance of doubt and in the interests of proper planning.

3 Condition: No work or other operations development shall take place on site until a scheme for the protection of the retained hedges and trees in the form of a site specific Arboricultural Method Statement (AMS), and accompanying hedge and Tree Protection Plan has been approved in writing with the Local Planning Authority. This scheme shall include:

a, Site layout plans to a scale and level of accuracy appropriate to the proposal that shows the position, crown spread and root protection areas (section 4.6 of BS5837:2012) of every retained hedge and tree on site and on neighbouring or nearby ground, superimposed on the layout plan. The positions of all hedges and trees to be removed shall be indicated on this plan.

b, the details and positions (shown on the plan at paragraph (a) above) of the Hedge and Tree Protection Barriers, (section 6.2 of BS5837:2012), to form a construction exclusion zone, and the type and extent of ground protection (section 6.2.3 of BS5837:2012) or any other physical tree protection measures. These details are to be identified separately where required for different phases of construction work (e.g. demolition, construction, hard landscaping). Barrier and ground protection offsets must be dimensioned from existing fixed points on the site to enable accurate setting out. The position of barriers and any ground protection should be shown as a polygon representing the actual alignment of the protection.

c, the details and positions (shown on the plan at paragraph (a) above) of the underground service runs (section 7.7 of BS5837:2012). the details of the working methods to be employed with regard to site logistics including, the proposed access and delivery of materials to the site; space for storing materials spoil and fuel, and the mixing of cement; contractor car parking; site huts, temporary latrines (including their drainage), and any other temporary structures.

d, the AMS shall include details for the installation of any temporary ground protection, excavations, or other method for the installation of any hard structures or underground services within the minimum root protection areas of any retained tree.

The approved Hedge and Tree protection must be erected prior the commencement of development on site and remain in place for the duration of works. All tree protection works shall be carried out in complete accordance with the approved details.

3 Reason: For the avoidance of doubt and to ensure that the development is properly landscaped in the interests of the visual amenities of the locality in accordance with the NPPF, Policies CS08 and DM15 of the Local Plan and the overarching aims of the Neighbourhood Plan.

4 Condition: Any trees or hedges within the site shall not be felled, uprooted, willfully damaged or destroyed, cut back in any way or removed without the prior written approval of the Local Planning Authority. Any trees, shrubs or hedges removed without such approval, or which die or become severely damaged or seriously diseased within 5 years from the completion of the development hereby permitted shall be replaced with trees, shrubs or hedge plants of similar size and species in the next available

planting season, unless the Local Planning Authority gives written approval to any variation.

- 4 Reason: For the avoidance of doubt and to ensure that the development is properly landscaped in the interests of the visual amenities of the locality in accordance with the NPPF, Policies CS08 and DM15 of the Local Plan and the overarching aims of the Neighbourhood Plan.
- 5 Condition: Prior to the first use/occupation of the development hereby permitted, full details of both hard and soft landscape works shall have been submitted to and approved in writing by the Local Planning Authority.

The landscaping plan shall include the provision of a mature, native species rich hedgerow along the front (west) boundary of the site. The hedge shall comprise a staggered row of whips no less than 60cm in height.

The specific details shall include:

- i. Hard landscape works, to include but not be limited to, finished levels or contours, hard surface materials, refuse or other storage units, boundary types, and any paved surfaces (including manufacturer, type, colour and size) underground modular systems, and sustainable urban drainage integration where appropriate.
 - ii. Soft landscape works, to include planting plans (which show the relationship to all underground services and the drainage layout), written specifications (including cultivation and other operations associated with plan and grass establishment), schedules of plants noting species, plant sizes, proposed numbers and densities, tree planting details including method of staking, and irrigations, detailed design proposals for tree planting pits/trenches including, but not limited to, locations, soil volumes in cubic metres, structural soils, root barriers cross sections and dimensions. The details shall include a establishment plan to provide for the initial establishment and maintenance of all landscaped areas for a minimum period of 5 years and specify the maintenance responsibilities and arrangements for its implementation.
- 5 Reason: To ensure that the development is properly landscaped in the interests of the visual amenities of the locality in accordance with the NPPF, Policies CS08 and DM15 of the Local Plan and the overarching aims of the Neighbourhood Plan.
 - 6 Condition: No work or other operations development shall take place on site until details of all Arboricultural Supervision to include a schedule of site supervision and monitoring of the arboricultural protection measures as approved in condition 3 above have been submitted to the Local Planning Authority for approval in writing. Site arboricultural supervision and monitoring shall thereafter be carried out in strict accordance with the approved details.
 - 6 Reason: For the avoidance of doubt and to ensure that the development is properly landscaped in the interests of the visual amenities of the locality in accordance with the NPPF, Policies CS08 and DM15 of the Local Plan and the overarching aims of the Neighbourhood Plan.
 - 7 Condition: No development or other operations shall take place on site until a detailed construction management statement has been submitted to and approved in writing by the Local Planning Authority. The method statement shall include:

- (a) the methods to be used and the measures to be undertaken to control the emission of dust, noise, and vibration from the operation of plant and machinery to be used;
- (b) the location of any temporary buildings and compound areas;
- (c) the location of parking areas for construction and other vehicles;
- (d) the measures to be used to prevent the deposit of mud and other deleterious material on the public highway; and,
- (e) a scheme for the management and signage of all construction traffic.

The development shall be carried out in accordance with the approved construction management statement throughout the construction period.

- 7 Reason: For the avoidance of doubt and in the interests of the amenities of the locality in accordance with the NPPF (2021) and Policy DM15 of the SADMPP (2016) and HNTS 22 of the Holme next the Sea Neighbourhood Plan.
- 8 Condition: Prior to the first use of the development hereby permitted the proposed on-site car parking/turning area shall be laid out, levelled, surfaced and drained in accordance with the approved plan and retained thereafter available for that specific use.
- 8 Reason: To ensure the permanent availability of the parking/manoeuvring areas, in the interests of satisfactory development and highway safety in accordance with the NPPF (2023) and Policy DM15 of the SADMPP (2016) and HNTS 25 of the Neighbourhood Plan.
- 9 Condition: No development shall commence until full details of the foul and surface water drainage arrangements for the site have been submitted to and approved in writing by the Local Planning Authority. The drainage details shall be constructed as approved before any part of the development hereby permitted is brought into use.
- 9 Reason: To ensure that there is a satisfactory means of drainage in accordance with the NPPF.

This needs to be a pre-commencement condition as drainage is a fundamental issue that needs to be planned for and agreed at the start of the development.
- 10 Condition: Notwithstanding the details that accompanied the application hereby permitted, no development shall take place on any external surface of the development until the type, colour and texture of all materials to be used for the external surfaces of the building(s) have been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.
- 10 Reason: To ensure a satisfactory external appearance and grouping of materials in accordance with the principles of the NPPF.
- 11 Condition: No development shall commence on any external surface of the development until a sample panel of the stonework and facing bricks to be used for the external surfaces of the building(s) and/or extension(s) hereby permitted has been erected on the site for the inspection and written approval of the Local Planning Authority. The sample panel shall measure at least 1 metre x 1 metre using the proposed materials, mortar type, bond and pointing technique. The development shall be constructed in accordance with the approved details.

- 11 Reason: To ensure a satisfactory external appearance and grouping of materials in accordance with the principles of the NPPF.
- 12 Condition: No development over or above foundations shall take place on site until full details of the window style, reveal, cill and header treatment has been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.
- 12 Reason: To ensure that the design and appearance of the development is appropriate in accordance with the principles of the NPPF.
- 13 Condition: Full details of all new gutters and down pipes and any vents, flues, soil pipes or meter boxes shall be submitted to and approved in writing by the Local Planning Authority prior to their installation on site. The development shall be implemented in accordance with the approved details prior to the first occupation of the dwelling.
- 13 Reason: To ensure that such details appropriate and will not cause detrimental impacts to the Conservation Area in accordance with the principles of the NPPF.
- 14 Condition: All external lighting associated with the proposed development shall be installed and maintained in accordance with the following requirements:
(i) Fully shielded (enclosed in full cut-off flat glass fitments)
(ii) Directed downwards (mounted horizontally to the ground and not tilted upwards)
(iii) On a motion timer or similar (i.e. no dusk to dawn lamps)
(iv) LED luminaries to be used wherever possible
- 14 Reason: In order to safeguard the ecological interests of the site in accordance with Policy CS12 of the Kings Lynn and West Norfolk Core Strategy 2011 and Section 15 of the NPPF.
- 15 Condition: Notwithstanding the provisions of Schedule 2, Part 1, Classes A, B and D of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking and re-enacting that Order with or without modification), the enlargement, improvement or other alteration of a dwelling house, the enlargement of a dwelling house consisting of an addition or alteration to its roof, or the erection or construction of a porch outside any external door of a dwelling house, shall not be allowed without the granting of specific planning permission.
- 15 Reason: In order that the Local Planning Authority may retain control of development which might be detrimental to the amenities of the locality if otherwise allowed by the mentioned Order.
- 16 Condition: Notwithstanding the provisions of the Town and Country Planning General Permitted Development Order (2015) as amended, no doors/gates/other means of enclosure shall be installed/erected to enclose the car port proposed on dwg No. 22033 03 Revision G.
- 16 Reason: For the avoidance of doubt and in accordance with Policy HNTS 16 of the Holme Next the Sea Neighbourhood Plan.
- 17 Condition: The development hereby permitted shall be carried out in full accordance with the recommendations of the Flood Risk Assessment written by Ellingham Consulting and submitted as part of this application. In particular, the document states:
*The ground floor of the dwelling will be set at +4.8m AOD.

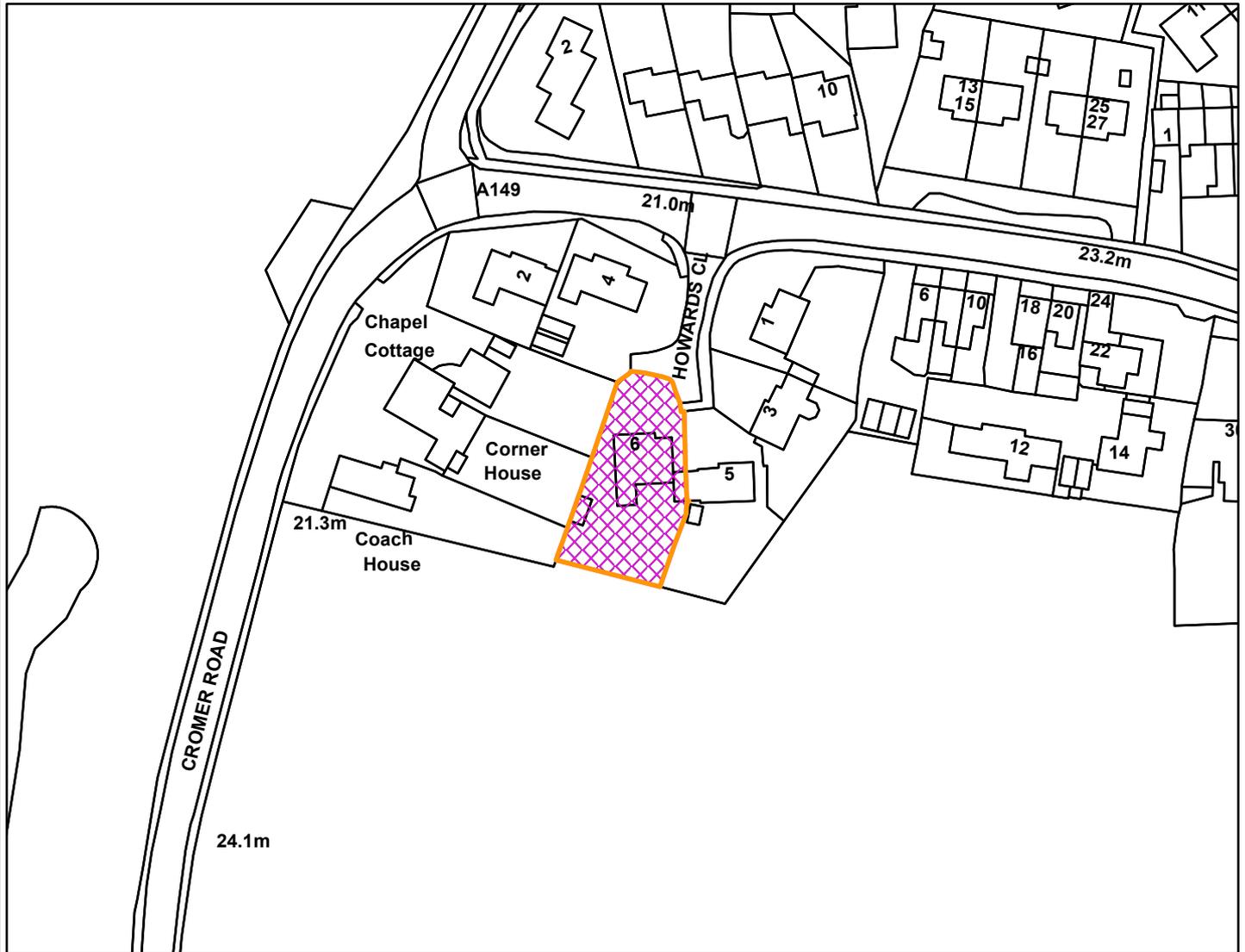
*The occupiers of the dwelling should register to receive flood warnings and an Emergency Evacuation Plan should be created

*At least 0.5m of flood resilient construction shall be incorporated above finished floor level.

- 17 Reason: In order to prevent an increased risk of flooding in accordance with the principles of the NPPF.
- 18 Condition: Notwithstanding the information submitted as part of this application, no development shall commence on site until a full scheme/engineers report for the replacement dwelling and associated structures to withstand the hydrostatic and hydrodynamic pressures associated with flood water in the event of a severe flood event has been submitted to and approved in writing by the Local Planning Authority. The agreed scheme should include details of flood resilience and resistance measures which will be incorporated into the design and shall be fully implemented in accordance with the details agreed prior to the first occupation/use of the dwelling hereby permitted and retained as such in perpetuity thereafter
- 18 Reason: The application site lies in an area which is at significant risk of flooding, the submission of a full structural scheme is required to ensure that the development can be made safe for its lifetime in line with the NPPF (2023) and the Borough Council's Flood Risk Design Guidance and Policy CS08 of the Core Strategy (2011).
- 19 Condition: All hard and soft landscape works shall be carried out in accordance with the approved details. The works shall be carried out prior to the first occupation or use of any part of the development. Any trees or plants that within a period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased, shall be replaced in the next planting season with others of similar size and species as those originally planted, unless the Local Planning Authority gives written approval to any variation.
- 19 Reason: To ensure that the development is properly landscaped in the interests of the visual amenities of the locality in accordance with the NPPF, Policies CS08 and DM15 of the Local Plan and the overarching aims of the Neighbourhood Plan.



6 Howards Close Old Hunstanton Norfolk PE36 6HR



Legend	

Scale: 1:1,250

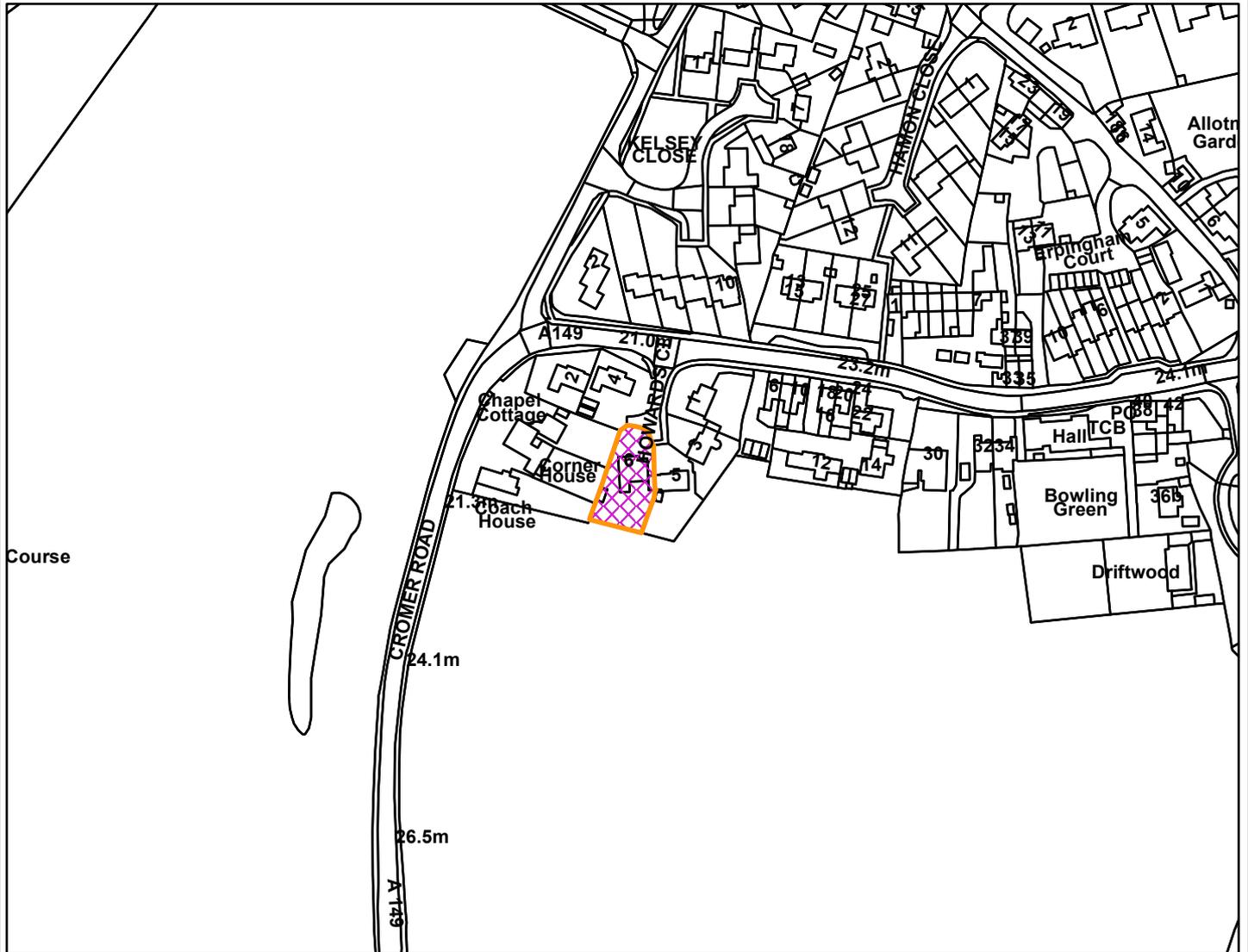
Reproduced from the Ordnance Survey map with permission of the Controller of His Majesty's Stationery Office © Crown Copyright 2023.

Unauthorised reproduction infringes Crown Copyright and may lead to prosecution or civil proceedings.

Organisation	BCKLWN
Department	Department
Comments	Not Set
Date	24/04/2024
MSA Number	0100024314



6 Howards Close Old Hunstanton Norfolk PE36 6HR



Legend

[Empty legend box]

Scale: 1:2,500

Reproduced from the Ordnance Survey map with permission of the Controller of His Majesty's Stationery Office © Crown Copyright 2023.

Unauthorised reproduction infringes Crown Copyright and may lead to prosecution or civil proceedings.

Organisation	BCKLWN
Department	Department
Comments	Not Set
Date	24/04/2024
MSA Number	0100024314

Parish:	Old Hunstanton	
Proposal:	2 storey and first floor front extension; rear single storey extension; replacement dormer to rear including increased size	
Location:	6 Howards Close Old Hunstanton Hunstanton Norfolk PE36 6HR	
Applicant:	Mr S Harding	
Case No:	23/01571/F (Full Application)	
Case Officer:	Lucy Smith	Date for Determination: 3 November 2023 Extension of Time Expiry Date: 12 April 2024

Reason for Referral to Planning Committee – Called in by Cllr de Winton.

Neighbourhood Plan: Yes

Case Summary

Planning permission is sought for a two storey and first floor front extension, rear single storey extension and replacement dormer to the rear.

The application site is located within the settlement boundary of Old Hunstanton which is classified as a rural village within policy DM2 of the (Site Allocations and Development Management Policies Plan (SADMPP)).

The application site is located within the residential cul-de-sac of Howards Close which is outside of the Old Hunstanton conservation area.

The existing dwelling is a chalet bungalow with asymmetric roof form, including a small, glazed dormer in the front elevation. The property has previously been extended and altered and so is not in its original form, most notably with an existing two storey extension on the rear elevation.

Plans have been amended during the course of this application to significantly alter the scale of the proposal. Full discussion takes place within this report.

Key Issues

- Principle of development
- Form and character and impact on heritage assets
- Impact on neighbour amenity
- Trees
- Highway safety
- Other material considerations

Recommendation: APPROVE

THE APPLICATION

The application site is located within the settlement boundary of Old Hunstanton and is adjacent to a conservation area (approximately 55m to the north east) and to the east of a listed building.

The site is positioned within the residential cul-de-sac of Howard Close which consists of chalet bungalows constructed from red brick with upvc windows and doors.

Planning permission is sought for a two storey and first floor front extension, rear single storey extension and a replacement dormer to the rear.

The application has been amended during the course of this extension to reduce the bulk of the front extensions and alterations to better accord with the street scene character and to attempt to resolve issues raised by the Conservation Officer and Parish Council. The current plans propose a first floor extension on the footprint of the existing dwelling, a larger front dormer and a large dormer and single storey extension to the rear.

The application site is outside of the Conservation Area, the boundary to which runs along the west boundary of Coastal Cottage, 6 Old Hunstanton Road – to the east of the junction of Howards Close. Corner House, immediately west of the application site is a Grade II Listed Building, and trees adjacent to the boundary are subject to a Tree Preservation Order.

Howard's Close is a small cul-de-sac of dwellings each of very similar style. The bungalows individually are unremarkable, however as a group have some significant in terms of consistency of design which is typical of its time. Limited changes have occurred to the front of any dwellings on the estate, which retains a specific character and therefore any change will have an impact to a degree.

SUPPORTING CASE

'I wish to enter this statement for the above reference, for 6 Howards Close as this has been called to council and I wish to present the facts as I am aware.

Previously last year in August we tried to get a very sympathetic application on the opposite side of the house (the left side) to the current side we have now settled on (the right hand side).

Previously, we went to great lengths to try to make that as sympathetic as possible to the other houses in Howards Close, with the view that these houses can be made even more beautiful but with practical aspects included. We looked at past applications and kept the original roof to be the same and cut back into that just above the first level re-design.

We originally tried to get natural light into the front of the house as we were not overlooking anyone and tried to make the house warmer with the eaves being properly insulated, as currently that is not possible.

A 1960's bungalow set into many sloping roofs is a challenge and the design we first thought was not to be acceptable to the council it would seem.

We have liaised back and forth with Lucy Smith and have now come up with an acceptable solution to both.

We are not in a conservation area.

We are not overlooked by any neighbours.

We have not moved the existing building off of its original footprint.

Planning Committee
7 May 2024

We have not moved the top roof ridgeline, as we will simply slide the new roof back into the existing roof again at first floor, so retaining the main roof.

We have noted all the houses in Old Hunstanton have mostly been drastically changed in both style and size, and indeed Kelsey Close opposite to us is very similar but with more houses in the close. That Close has made very practical and sympathetic changes that again just enhance the future liveability of these house for future families to come.

I believe the government are in favour of making older properties more user friendly for larger modern families, rather than the “knock it down and start again” approach. We are trying to do just that.

I therefore ask the committee to look at the time we have spent to have gotten to this point with Kings Lynn and Lucy Smith, who are now to support the current scheme with us. I hope that you also see that they have done a lot of work on your behalf to get to a fair compromise.’

PLANNING HISTORY

14/01413/F: Application Permitted: 04/12/14 - Extra parking from gravel to hardstanding - 6 Howards Close – DELEGATED DECISION

15/00387/F: Application Permitted: 11/05/15 - Alterations and extension - 6 Howards Close Old Hunstanton – DELEGATED DECISION

RESPONSE TO CONSULTATION

Parish Council: OBJECT:

26.09.2023 – ‘The Parish Council object to the application on the basis that the site is located within a highly visible collection of well-mannered chalet bungalows that present a unified frontage to the front.

The proposals submitted by No.6 will depart from the design language that provides this cohesion and as such will be out of keeping with the existing streetscape and therefore contextually inappropriate.

The existing and well-established building line would be compromised by these proposals further compromising the all-important visual unity. The proposed and much enlarged dormers would facilitate overlooking of both front and rear gardens of adjoining properties affecting their amenity.’

04.03.2024 (in response to amended plans) – ‘Our objections of the 26th of September, in the main, still stand.’

Conservation: OBJECTION

03.11.2023 – ‘This small group of pleasant chalet style homes, all of a similar design, make a cohesive, pleasant entrance to the Old Hunstanton Conservation Area. Therefore any change to the style, design or mass of any of these properties would have a negative effect on views into and out of the protected, historic village centre. NPPF para 192 states: In determining applications, local planning authorities should take account of: (c) The desirability of new development making a positive contribution to local character and

Planning Committee
7 May 2024

distinctiveness. An application to alter another of these properties in 2019 was withdrawn after objections raised by the Conservation Team and therefore, for consistency we object to this proposal as it does not reflect the form and character of the area, has no regard for the local historic environment and would have a detrimental impact on the conservation area and the street scene. ‘

19.02.2024 (in response to amended plans) – ‘The Conservation Team Comments remain unchanged. Please see comments dated 6 November 2023’

Arboricultural Officer: Raised concern regarding pressure on TPO trees

18.04.2024 - ‘Although the revised proposals is more modest in size of extension, it includes a new bedroom being created close to the canopies of the trees, which in this location with the potential for seas views, is highly likely to lead to increased requests for pruning or even felling of the trees in future by any residents. My previous view that design will this result in an unsatisfactory relationship with neighbouring trees remains.’

12.02.2024 – previous OBJECTION – ‘Tree Preservation Order 2/TPO/00674 protects trees in the neighbouring garden at Chapel Cottage, Cromer Road. This group of trees makes an attractive contribution to the amenity value and pleasant character of the area.

While this proposal does not seem to directly threaten the trees, the application has not considered them at all. Space will be required for construction work, scaffolding and working space, which could lead to the trees being pruned to make space. Because the trees are protected by a tree preservation order this needs to be considered as part of this proposal and may be dealt with by condition.

The increasing size of the property will lead to a new bedroom being created close to the canopies of the trees, which may lead to increased requests for pruning or even felling of the trees. Trees that overhang into gardens and over roof tops can cause apprehension and are typically viewed negatively by residents due not only to the blocking of the sky, light and in this location views, but also by seasonal nuisance such as leaf and fruit fall blocking gutters.

While to proposed extension work is unlikely to cause direct damage to the neighbouring trees, it will create an unsustainable relationship between the extended property and the neighbouring trees. I object to this proposal on the grounds that it will by virtue of its size and design result in an unsatisfactory relationship with neighbouring trees which are the subject of Tree Preservation Order 2/TPO/00674. The long-term protection of these trees would be prejudiced’.

REPRESENTATIONS SIX letters of **OBJECTION**, summarised as follows (2 received since amended plans consultation):

- Amendments appreciated however gable roof remains out of character with Howard’s Close, contrary to Neighbourhood Plan design policies
- Proposal doesn’t increase number of bedrooms, request for internal alterations only to reduce impact on Howard’s Close
- Design does not reflect the design of Howard’s Close
- Proposal will be visible in street scene and from neighbouring properties
- Original plans overwhelming and out of keeping
- Frontage should be preserved
- Proposal would detract from the Old Hunstanton Conservation Area which it is adjacent to

Planning Committee
7 May 2024

- **THREE** letters of **SUPPORT**, summarised as follows (1 since amended plans consultation):
- Enhancing energy efficiency should be supported
- No objection to something looking different
- No adverse impacts on the adjacent Conservation Area – various other development has taken place without objections,
- The application site is not within the Conservation Area, Conservation Officers should be consistent across applications in the area. Various houses as you head East along Old Hunstanton Road have been modernised and changed appearance or extended without objections

LDF CORE STRATEGY POLICIES

CS01 - Spatial Strategy

CS02 - The Settlement Hierarchy

CS08 - Sustainable Development

CS12 - Environmental Assets

SITE ALLOCATIONS AND DEVELOPMENT MANAGEMENT POLICIES PLAN 2016

DM1 – Presumption in Favour of Sustainable Development

DM2 – Development Boundaries

DM15 – Environment, Design and Amenity

DM17 - Parking Provision in New Development

NEIGHBOURHOOD PLAN POLICIES

Policy HNTS4: Adaptation and resilience Zone

Policy HNTS7: Natural Capital and Ecosystem Services

Policy HNTS8: Sustainable Travel and Tourism

Policy HNTS14: New Homes

NATIONAL GUIDANCE

National Planning Policy Framework (NPPF)

Planning Practice Guidance (PPG)

National Design Guide 2021

PLANNING CONSIDERATIONS

The main considerations are:

- Principle of development
- Form and character and impact on heritage assets
- Impact on neighbour amenity
- Trees
- Highway safety
- Other material considerations

Principle of Development:

The application seeks permission for the construction of extensions wholly within the curtilage of an existing dwelling. The principle of development is therefore acceptable. There are no policies that specifically restrict this type of development.

Applications are instead subject to design and amenity policies such as Policy DM15 of the SADMPP (2016), alongside policies relating to the historic environment.

Form and Character and Impact On Heritage Assets:

Planning permission is sought for a two storey and first floor front extension, rear single storey extension and a replacement dormer to rear.

The proposed front extension, comprising a two-storey extension (an additional storey above an existing first floor) emulates the width and pitch of the existing gable ends of this group of houses with eaves height of 4.2m from existing ground level, and ridge to 7m, leaving the proposed front projection as appearing subservient to the existing dwelling.

Extensions to the existing dormer within the front facing roof slope. Whilst the design would perhaps benefit from a reduction in the size of this front dormer, the proposed dormer window would be set back from the eaves of the dwelling by approximately 1m and would therefore be subservient form to the main dwelling. The retention of a dormer window in the front building, albeit larger than other properties, would retain part of the overarching character of the dwellings within the proposed design.

The rear extensions are proposed to adjoin an existing 2 storey extension which is of contrasting form. The single storey rear extension would measure 3.1m in height and projects approximately 5.7m from the existing rear wall.

The new dormer window to the rear would measure 2.2m in height, 6.1m in width and 1.4m in depth serving the bedroom and ensuite.

The proposed front extension would be constructed from bricks to match the host dwelling which allows the extension to appear as a modest addition to the existing dwelling.

Policy DM15 of the (Site Allocations and Development Management Policies Plan (SADMPP) –states ‘development must protect and enhance the amenity of the wider environment including its heritage and cultural value. Proposals will be assessed against their impact on neighbouring uses and their occupants as well as the amenity of any future occupiers of the proposed development’.

Given their positioning, the proposed single storey rear extension and dormer window would not be viewable from the public realm and therefore, would not have a detrimental impact on

Planning Committee
7 May 2024

the street scene and would comply with the relevant design policies. Similar rear extensions could be constructed through permitted development rights.

The cul-de-sac of Howards Close is characterised by a group of red brick chalet bungalows, with matching dormers and prominent roof slopes being the main feature of the design.

Whilst comments from the Conservation Officer and Parish Council in regard to the front extensions are noted, the amended plans show a reduced scheme which better respects the character of the existing dwelling. The roof pitch of the gable end replicates that of the existing bungalows, and when viewed upon entry of the estate will be seen in association with various existing gable ends visible within the street scene. Whilst it is acknowledged that the front extension will be the first of its kind in this cul-de-sac, the design of the extension is such that it will not be detrimental to the character of this part of Old Hunstanton.

Whilst the dormer is proposed to be enlarged, it will still be a recognisable feature in the street scene as a whole and will not be so detrimental as to warrant refusal of this application.

Further, the site is separated from the edge of the Conservation Area which stops along Old Hunstanton Road to the northeast of the site. When travelling along Old Hunstanton Road, views of the site are limited, with the majority of the viewpoint only being available once a vehicle enters Howards Close. Officers do not consider that the modest extensions proposed would cause any harm to the character and appearance of Conservation Area or its setting, the works would instead have a neutral impact given the design of the extensions proposed as well as their position within the street scene, this accords with the aims of Policy CS12 of the Core Strategy (2011).

The proposed development is considered to be of an appropriate scale and design that incorporates acceptable materials and would appear in keeping with the surrounding area. Therefore, the proposed development is considered to comply with policy DM15.

The need for good design is reiterated by Policy 7 of the Old Hunstanton Neighbourhood plan.

The development is not considered likely to impact on the setting of the adjoining Listed Building. The extensions are modest in character and existing TPO trees will screen and soften any views of the development.

The cul-de-sac does have a uniform character, and the properties are all of a similar design which contributes positively to the street scene, however, officers consider that the significant amendments that have taken place during the course of the application have made the development acceptable on balance.

Various permitted development rights could be used to change the appearance of the dwelling from the street scene, including the provision of a porch or side extensions. This is a material consideration given that alternative works could take place without the need for planning permission.

On balance, given the scale of the extensions proposed, the width and proportions of the proposed gable end emulating that of the existing gables of surrounding chalet bungalows, and the position of the dwelling within the street scene, the design of the proposal is considered acceptable.

The application is considered to comply with Policies CS08, CS12 and DM15 of the Local Plan, and Policy 7 of the Old Hunstanton Neighbourhood Plan in regard to design and impact on heritage assets.

Impact on Neighbour Amenity:

The application site allows for a sufficient separation distance to limit any adverse impacts on adjoining properties. The front elevation of the property is approximately 25m from the rear elevation of the bungalow to the north.

The application site and neighbouring properties are host to front gardens with driveways in between the dwellings. The proposed development takes place in positions which are unlikely to cause detriment to neighbouring dwellings and is of a scale and bulk which is appropriate.

A single garage is positioned in between no.6 and no.5 Howards Close providing separation and screening to the rear.

The site is also enclosed by close boarded fencing, hedging and a brick wall to the east which would partially screen the addition to the rear.

No.6 is positioned in the western corner of the cul-de-sac and is positioned further forward in the plot compared to the neighbouring property (no.5). therefore, the proposed first floor addition and new dormer window would not result in any adverse overlooking or loss of privacy. No windows are proposed to the side elevation of the first-floor extension.

The rear dormer window will replace an existing dormer window which is smaller and only serves a bathroom, however, the replacement dormer would serve a bedroom and ensuite. The windows would face south and given their positioning, would not cause adverse overlooking of the adjoining properties.

The proposed first floor extension faces towards the wider street scene and turning head within the cul-de-sac. Whilst a viewpoint towards the rear/side of the property to the north would be provided, this is an existing situation, and the rear garden and parking areas of this dwelling are widely visible within the existing street scene. The provision of an additional window facing this direction would not cause any significant privacy impacts so as to warrant refusal of this application.

Overall, the impacts on neighbour amenity associated with the proposed development are considered acceptable and comply with the NPPF (2023), Policy CS08 of the Core Strategy (2011) and Policy DM15 of the SADMPP (2016).

Trees

A Tree Preservation Order protects a group of trees in the neighbouring garden at Chapel Cottage, Cromer Road. This group of trees makes an attractive contribution to the amenity value and pleasant character of the area, partly because of their position on raised land compared to Old Hunstanton Road.

The existing dwelling has a bedroom with side window at first floor facing directly towards the TPO trees on the boundary to the site (approx. 3.5m metres west). In contrast, this revised scheme relocates this bedroom to the front of the dwelling, with a window inserted in the front elevation facing north. Despite the Arboricultural Officer's concerns, this is considered by Officers to provide overall betterment in terms of potential pressure on the trees, as whilst part of the view from this window will be towards the trees, the window will

Planning Committee
7 May 2024

also have an outlook to the north & northeast away from the trees, potentially reducing the pressure for additional pruning etc. to occur. The existing window on the side elevation, previously serving a bedroom, would serve a bathroom which is not a habitable room and therefore the trees are likely to be put under less pressure as a result of the proposal.

The extension is proposed wholly on top of the existing ground floor extension and does not therefore project into the root protection area of the TPO trees. As noted by the Arboricultural Officer, conditions can be used to make sure that direct impacts on the trees do not take place during construction – for example tree protection fencing and restricting any storage of materials within the RPA. The serving of a Tree Preservation Order means any future pruning would require consent and consideration which further protects the trees from harm going forwards.

Therefore, on balance considering the existing windows on site which are currently impacted by the position of the protected trees, subject to conditions, the impact on trees is therefore considered acceptable and complies with Policies CS08 and CS12 of the Core Strategy (2011) and Policy 14 of the Old Hunstanton Neighbourhood Plan.

Highway Safety:

The proposal would not impact on highway safety. The application does not alter the number of bedrooms proposed within the dwelling and retains a parking area and garage to the east of the site.

The highway safety implications of the development are therefore acceptable and comply with the NPPF (2023), Policies CS08, CS11 and DM15 of the Local Plan.

Other material considerations:

National Landscape – The application site is not within the National Landscape (previously AONB), the boundary to which lies on the other side of Old Hunstanton, to the east of the site.

CONCLUSION:

The NPPF reiterates the provisions of Section 38(6) of the Planning and Compulsory Purchase Act 2004 which states that applications for planning permission must be determined in accordance with the development plan unless strong material considerations indicate otherwise.

The application has been amended during the course of this application, and the proposed extensions and alterations are now considered to be of a scale and design which can be supported. The front projection has been reduced in bulk, in-appropriate large box dormers have been removed and the resulting front extensions respect and retain key parts of the design of the original dwelling to reduce the overall impact on the cul-de-sac.

It is acknowledged that the remainder of the street scene is largely unaffected by more modern development and there is a degree of consistency in the design ethos that has been retained since the dwelling's original construction, however the proposed design is subservient to the dwelling and is placed set back from Old Hunstanton Road in a position which will not lead to any adverse impacts on the setting of the Conservation Area, the boundary to which is to the east of the junction of Howards Close.

Various permitted development rights could also be used to change the appearance of the dwelling from the street scene, including the provision of a porch or side extensions. This is a material consideration given that alternative works could take place without the need for planning permission.

On balance, given the scale of the extensions proposed, the width and proportions of the proposed gable end emulating that of the existing gables of surrounding chalet bungalows, and the position of the dwelling within the street scene, the design of the proposal is considered acceptable.

Whilst comments from the Conservation Team and Parish Council are noted, the proposed design in its revised form is not considered to constitute poor design for the purposes of the NPPF (2023) and is considered to have a neutral impact on the setting of the Conservation Area. The proposal, subject to conditions controlling impacts on trees and proposed materials, is considered acceptable and complies with the Paragraph 135 of the NPPF (2023), Policies CS08, CS12 and DM15 of the Local Plan, and Policy 7 of the Old Hunstanton Neighbourhood Plan.

Given the position of existing windows and therefore the existing pressure on the TPO trees, the provision of a front extension and associated north facing window and above an existing lounge window is not considered likely to lead to such undue pressure on the trees that would warrant the refusal of the application on these grounds. Further tree works, if required in the future, can be controlled and monitored as a result of the Tree Preservation Order.

The application is recommended for approval subject to the following conditions.

RECOMMENDATION:

APPROVE subject to the imposition of the following condition(s):

- 1 Condition: The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
- 1 Reason: To comply with Section 91 of the Town and Country Planning Act, 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act, 2004.
- 2 Condition: The development hereby permitted shall be carried out in accordance with the following approved plans:

*693-02 Rev C
- 2 Reason: For the avoidance of doubt and in the interests of proper planning.
- 3 Condition: No development or other operations shall commence on site until the existing trees along the west boundary of the site have been protected in accordance with a scheme that has been submitted to and approved in writing by the Local Planning Authority. The scheme shall provide for the erection of fencing for the protection of the trees and hedgerows before any equipment, machinery, or materials are brought on to the site for the purposes of development or other operations. The fencing shall be retained intact and in accordance with the agreed details for the full duration of the development until all equipment, materials and surplus materials have been removed from the site. If the fencing is damaged all operations shall cease until it is repaired in accordance with the approved details. Nothing shall be stored or placed in any fenced area in accordance with this condition and the ground levels within those

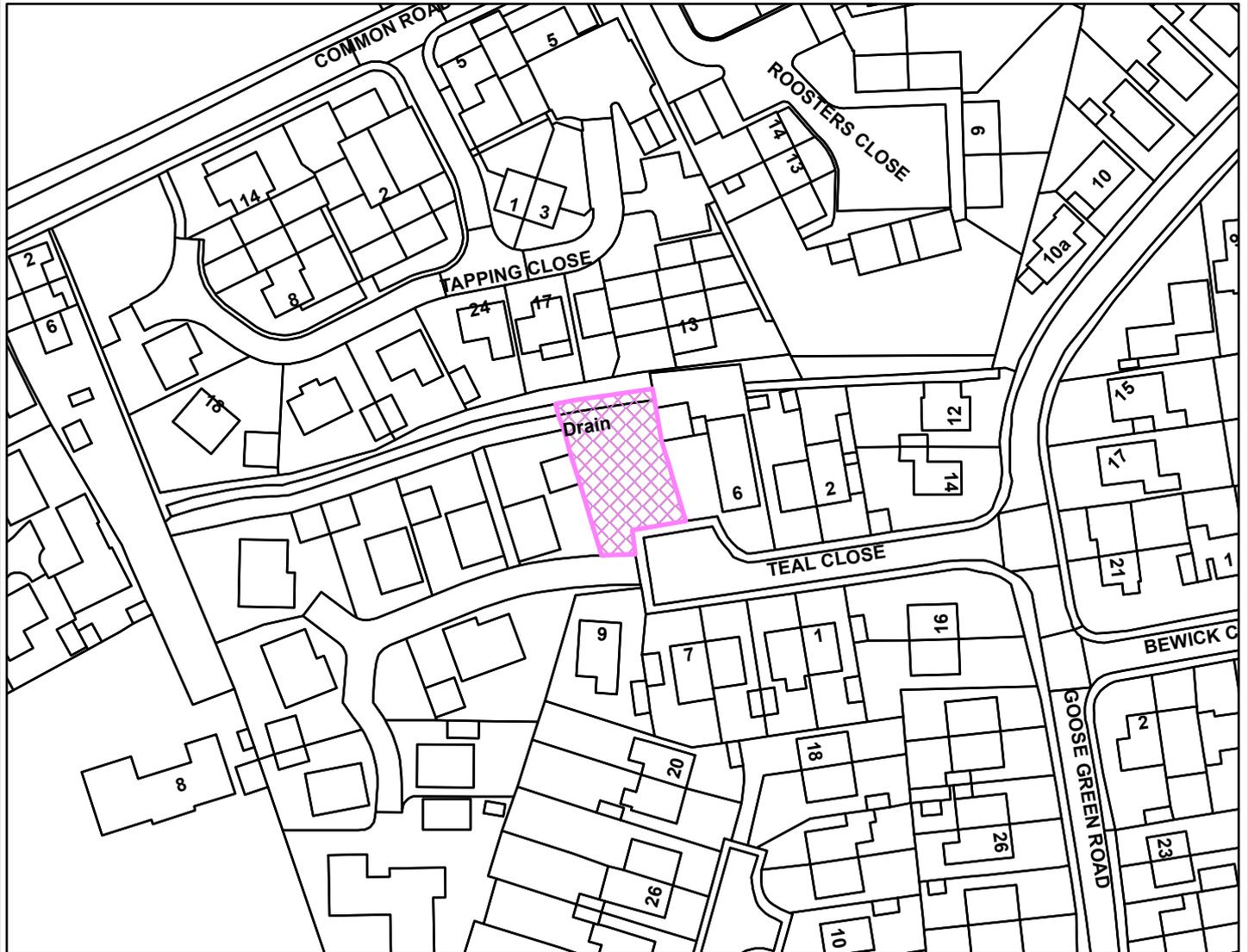
Planning Committee
7 May 2024

areas shall not be altered, nor shall any excavations be made without the written approval of the Local Planning Authority.

- 3 Reason: To ensure that existing trees and hedgerows are properly protected in accordance with the NPPF. This needs to be a pre-commencement condition given the potential for damage to protected trees during the construction phase.
- 4 Condition: No development shall take place on any external surface of the development hereby permitted until samples of the materials to be used in the construction of the external surfaces of the building(s) have been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.
- 4 Reason: To ensure a satisfactory external appearance and grouping of materials in accordance with the principles of the NPPF.



Land Between 6 And 10 Teal Close Snettisham Norfolk PE31 7RE



Legend

Scale: 1:1,250

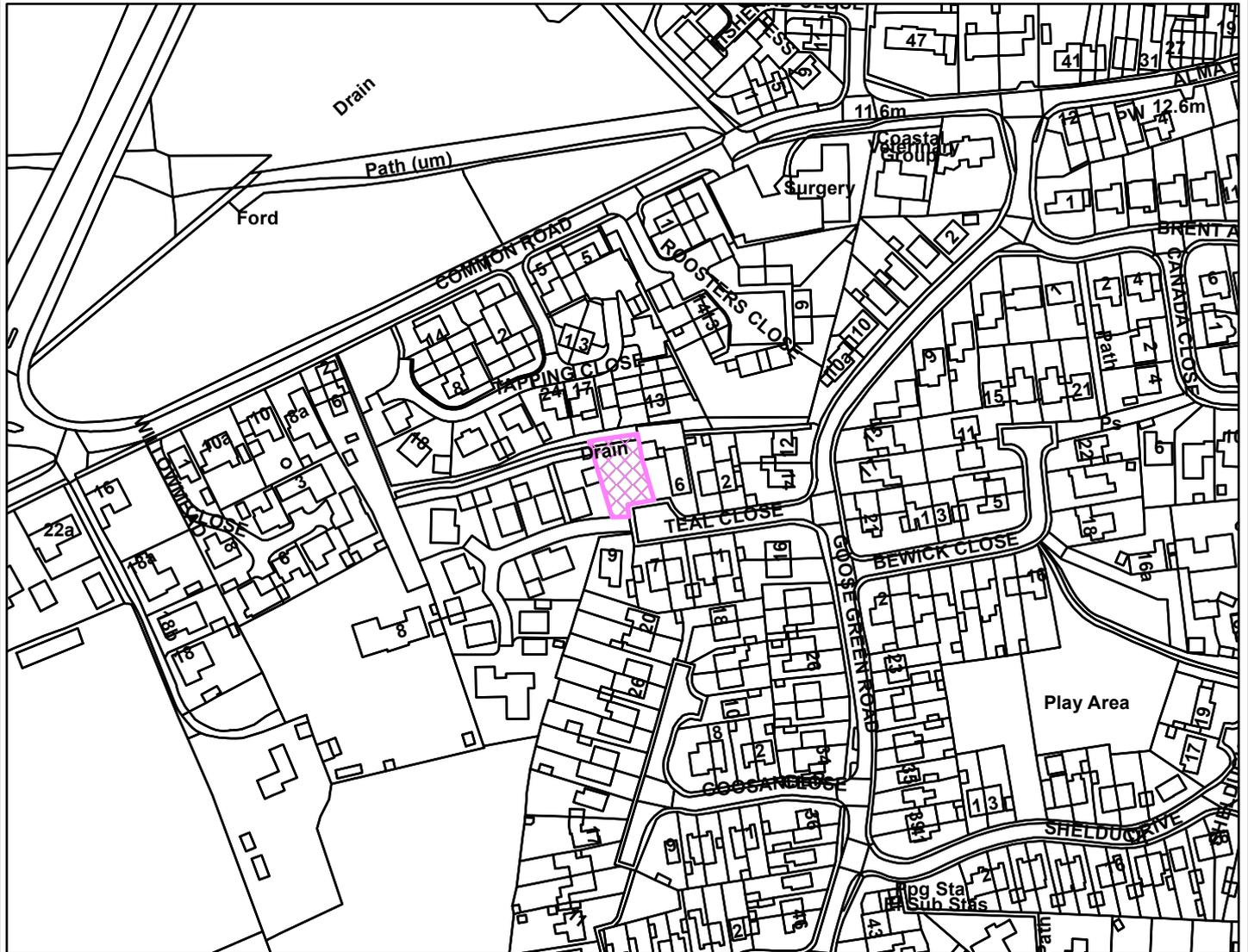
Reproduced from the Ordnance Survey map with permission of the Controller of His Majesty's Stationery Office © Crown Copyright 2023.

Unauthorised reproduction infringes Crown Copyright and may lead to prosecution or civil proceedings.

Organisation	BCKLWN
Department	Department
Comments	Not Set
Date	24/04/2024
MSA Number	0100024314



Land Between 6 And 10 Teal Close Snettisham Norfolk PE31 7RE



Legend

[Empty legend box]

Scale: 1:2,500

Reproduced from the Ordnance Survey map with permission of the Controller of His Majesty's Stationery Office © Crown Copyright 2023.

Unauthorised reproduction infringes Crown Copyright and may lead to prosecution or civil proceedings.

Organisation	BCKLWN
Department	Department
Comments	Not Set
Date	24/04/2024
MSA Number	0100024314

Parish:	Snettisham	
Proposal:	Construction of one single storey dwelling with parking and garaging.	
Location:	Land Between 6 And 10 Teal Close Snettisham Norfolk PE31 7RE	
Applicant:	Kevin Waddison	
Case No:	24/00138/F (Full Application)	
Case Officer:	Mrs Jade Calton	Date for Determination: 4 April 2024 Extension of Time Expiry Date: 25 April 2024

Reason for Referral to Planning Committee – Referred by Sifting Panel.

Neighbourhood Plan: Yes

Case Summary

The application site comprises a parcel of land measuring approx. 495 square metres, located on the north-western side of Teal Close, Snettisham.

The land is vacant but is being used for the storage of building materials in association with the development site to the west. Although the application site was historically associated with the wider development site to the west, it was blue land, and thus did not form part of the development itself. Three years have since passed and therefore the application site is now a windfall site.

Full planning permission is sought for the construction of a three-bedroom detached bungalow and garage.

Snettisham is classified as a Key Rural Service Centre within the settlement hierarchy of the Development Plan, where limited growth of a scale and nature appropriate to secure the sustainability of the settlement would be supported, subject to other Policy and material considerations.

Key Issues

- Principle of Development
- Form and Character
- Neighbour Amenity
- Highway Safety
- Other Material Considerations

Recommendation:

APPROVE

THE APPLICATION

The application site comprises a parcel of land measuring approx. 520 square metres, located on the north-western side of Teal Close, Snettisham.

The land is vacant but is currently being used for the storage of building materials in association with the development site to the west.

The application site previously formed part of the wider development site to the west but was shown as blue land and thus did not form part of the development itself. Three years have since past and therefore no longer results in the requirement for a proportion of affordable housing on this site.

Whilst the site was shown as blue land as part of the wider development site, it was not proposed nor conditioned to be public open space. A parcel of open space was secured elsewhere within the wider development in accordance with public open space provision requirements as set out within the Development Plan.

The site is bounded by a 1.8m close boarded timber fence to the north, east and west. There also some small garden trees along the northern boundary of the site.

A drain runs along the north of the site, outside of the boundary fence. It is believed that the applicant owns the north-eastern part of the drain, but it is unknown as to who has rights over the remainder as it runs along the northern boundaries of adjacent plots as part of the wider development site.

There are other utilities running through the site, such as a low-pressure gas pipeline and an underground electricity line, but an appropriate easement zone is shown on the submitted plans and the proposed development does not breach this.

Full planning permission is sought for the construction of a three-bedroom detached bungalow and garage.

The proposed dwelling would be of modest proportions and simple construction, with brick facades and a tiled pitched roof. The footprint of the proposed bungalow measures approx. 87 square metres.

In terms of site layout, the dwelling is shown to be location towards the south-easterly corner of the plot in order to avoid utility pipelines and the easement zone.

The proposed garage is shown to be located to the north-west corner of the site.

SUPPORTING CASE

A Design and Access Statement accompanies the application and states the following: -

THE PROPOSALS:

The application seeks full planning permission for the construction of one single storey dwelling with parking and garaging.

The adjustment of existing turning head at the end of Teal Close has been approved under Planning Ref: 15/02006/OM and has been completed as part of the construction works for nine units.

Planning Committee
7 May 2024

The site already has Planning Approvals (Ref 2/91/2928/F and 06/0/0678/F) for the construction of detached bungalow and garage. Planning application reference 21/00868/F was withdrawn because the application site triggered the Affordable Housing on phased development.

Location plan and block plans are included as part of the application to demonstrate that acceptable access, siting and scale of the proposed development is considered appropriate. Careful consideration has been given to avoid overlooking or loss of privacy to adjoining occupants.

THE SITE AND ITS SURROUNDINGS:

The application site is located on the western side of the existing settlement of Snettisham, an attractive, relatively large, sustainable, village located some 12 miles to the north of Kings Lynn and 5 miles to the south of Hunstanton, east of the A149 coast road, which now bypasses the main part of the village. The village has a population of approximately 2500 residents, and benefits from a large range of facilities, including a primary school, convenience goods shop, doctor's surgery, two public houses and village hall.

The vicinity of the site is characterised by lower density forms of development, predominantly detached units, comprising single and two storey properties.

The existing site is a relatively flat forming rectangular parcel of land. There is an overgrown hedge and a ditch along the northern boundary. A low pressure underground gas pipe and underground electric line run along the north western boundary.

DESIGN:

The current application is for Full Planning Permission. The design of the dwellings is indicated on the drawings that accompany this application.

The lead for the design of the dwelling has been taken from the arrangement that has previously been approved as part of the two Planning Applications (Ref 2/91/2928/F and 06/0/0678/F) on this site where the principal of a bungalow and garage has already been approved.

The suggested layout reflects the characteristics of the adjacent development and tackles the site constraints. The bungalow has been positioned on the site to follow the existing linear progression. i.e. the setback between 4 Teal close & 6 Teal close and setback between 6 Teal Close and proposed bungalow will be same. At the same time the bungalow and garage are a minimum 3.125m away from the low pressure gas pipeline.

The adjoining land next to this site was controlled by the applicant which already has Planning Approval for the construction of 9 bungalows and detached garage (15/02006/OM and 19/00577/RM). The proposed layout and front elevation of the bungalow is similar to one of the design approved and built in the adjoining land but the rear part has been adjusted to overcome the site constraints.

The existing original hedge at the northern boundary will be cut down and will be laid in a traditional style to create a rural sustainable hedge boundary to the development. It is to be noted that the client had an Approval for the hedgerow to be removed in 2003.

It is to be noted that there is no particular style of dwelling in the vicinity and all the homes are individual. We believe therefore that the design proposed for both the house and

bungalow are appropriate, continuing the ethos in the area of individually designed and detailed detached dwelling.

A new post and rail fence will be provided to the northern boundary. There is an existing 1.8m close boarded timber fence on the eastern boundary and there will be new 1.8m close boarded timber fence on the western boundary. A new railings will be provided to the southern boundary.

Once the new dwellings are in place, the lawn will be remade and additional planting will be provided around the dwellings to further enhance their setting in the landscape.

FLOOD RISK:

The site lies in Flood Zone 1 (low risk of flooding) of the Council-adopted STRA.

ACCESS:

The proposed development layout ensures that adequate space for both vehicular and pedestrian access to the site can be achieved. The access point to the site will be from Teal Close which provides required visibility, the benefit of the free flow of traffic and the road safety of both drivers and pedestrians.

PLANNING HISTORY

19/00577/RM: Application Permitted: 07/11/19 – DELEGATED - Reserved Matters Application: Construction of Nine single storey dwellings with parking and carports - Land At X568086 Y334123, Teal Close, Snettisham

19/01936/DISC_A: Discharge of Condition final letter: 31/08/22 - DISCHARGE OF CONDITION 5 OF PLANNING PERMISSION 19/01936/F: Removal of condition 8 of planning permission 15/02006/OM - Land West of 6, Teal Close, Snettisham

19/01936/F: Application Permitted: 24/12/19 – DELEGATED - Removal of condition 8 of planning permission 15/02006/OM - Land West of 6, Teal Close, Snettisham

15/02006/DISC_A: Discharge of Condition final letter: 29/11/19 - DISCHARGE OF CONDITIONS 6, 7, 11, 13, 14 AND 19: Outline application: Construction of nine single storey dwellings with parking and garaging and the creation of a new access road - West of 6 Teal Close

15/02006/OM: Application Permitted: 06/10/16 - COMMITTEE - Outline application: Construction of nine single storey dwellings with parking and garaging and the creation of a new access road - West of 6 Teal Close

21/00868/F: Application Withdrawn: 19/08/21 - Construction of One Single Storey Dwelling with Parking and Garaging. - Land West of 6 Teal Close

06/00450/F: Application Refused: 25/04/06 – DELEGATED - Construction of bungalow and detached garage - Adjacent 6 Teal Close

2/03/2510/HEDGE: Application Permitted: 17/11/03 - Hedgerow Removal Notice (HR/027) - Land North of Teal Close

06/01067/F: Application Permitted: 06/07/06 – DELEGATED - Construction of bungalow and detached garage - West Of 6 Teal Close

RESPONSE TO CONSULTATION

Parish Council: RECOMMEND REFUSAL - goes against the Village Neighbourhood Plan of overdevelopment.

Highways Authority: NO OBJECTION - conditionally

Natural England: NO OBJECTION - subject to securing appropriate mitigation (through GiRAMS).

Historic Environment Service: NO OBJECTION – subject to a pre-commencement condition requesting an Archaeological Written Scheme of Investigation.

Water Management Alliance: NO OBJECTION - site in question lies outside the Internal Drainage District of the King's Lynn Internal Drainage Board, therefore the byelaws do not apply.

Housing Development Officer: Confirms that no affordable housing contribution is required.

REPRESENTATIONS FOUR Third Party representations received.

TWO OBJECTIONS:

- Overlooking / loss of privacy
- Removing hedgerow
- Close proximity to neighbouring property
- Designed to overcome site constraints
- Site too small
- Overbearing
- Overshadowing
- Noise and disturbance during construction works
- litter from adj. construction site
- Impact from car headlights
- Water level of adj. stream

TWO NEUTRAL:

- Do not want to suffer the same noise and disturbance issues resulting from the adj. development during construction.
- Construction vehicles causing parking problems
- Blocking driveways
- Highway safety concerns
- Mud and debris on the road
- Health and safety
- Builders vehicles should be accommodated on site
- Close proximity to neighbouring boundary
- Intrusive

- Site layout due to electric / gas pipes running though
- Is this a suitable site to build?

LDF CORE STRATEGY POLICIES

CS01 - Spatial Strategy

CS02 - The Settlement Hierarchy

CS06 - Development in Rural Areas

CS08 - Sustainable Development

CS11 – Transport

CS12 - Environmental Assets

SITE ALLOCATIONS AND DEVELOPMENT MANAGEMENT POLICIES PLAN 2016

DM1 – Presumption in Favour of Sustainable Development

DM2 – Development Boundaries

DM8 – Delivering Affordable Housing on Phased Development

DM15 – Environment, Design and Amenity

DM17 - Parking Provision in New Development

NEIGHBOURHOOD PLAN POLICIES

Policy NP02 - Windfall Residential Dev

Policy NP05 – Materials and Design

Policy NP06 – Housing Density

Policy NP07 – Residential Car Parking

Policy NP08 - Heritage

Policy NP09 – Natural Environment

NATIONAL GUIDANCE

National Planning Policy Framework (NPPF)

Planning Practice Guidance (PPG)

National Design Guide 2021

PLANNING CONSIDERATIONS

The main considerations in the determination of this application are as follows:

- Principle of Development
- Form and Character
- Neighbour Amenity
- Highway Safety
- Other Material Considerations

Principle of Development:

The application site lies within the village of Snettisham which is classified as a Key Rural Service Centre within the settlement hierarchy of the Development Plan. Limited growth of a scale and nature appropriate to secure the sustainability of the settlement would be supported, subject to other Policy and material considerations.

The application site historically related to an allocated site (G83.1) within the SADMPP for 34 dwellings. The site allocation was divided into two parts, north and south of Common Road, due to different land ownerships.

The northern part of the allocation received planning permission for 24 dwellings (13/01736/FM) and has since been constructed. Five affordable units were delivered on this site.

The southern part of Common Road also received planning permission separately for the construction of 9 dwellings (15/02006/OM and 19/00577/RM) where affordable housing contributions applied. The Reserved Matters application secured a S106 agreement for the total sum of £108,000 (9 units x £12,000).

The current application site was historically blue land under the same ownership as the wider development site for nine dwellings to the south of Common Road. As such SADMPP Policy DM8 applies.

Policy DM8 relates to phased development where attempts may be made to avoid the affordable housing requirement by artificial sub-division of sites and incremental developments of numbers of houses below the threshold.

However, the current application site never formed part of the red line of the larger site for 9 dwellings (it was blue land in both the outline and RM applications) and notwithstanding the withdrawn application in 2021, the Policy makes it clear that 'the requirement for a proportion of (or contribution to) affordable housing' is applicable if an application is made on an adjacent site under the same ownership within 3 years.

It has been three years since the development of the larger site was complete and it is no longer under the same ownership as the current applicant as the individual plots have been sold off separately. Therefore, the Policy states that no further affordable housing is required.

The LA's Housing Officer confirms that no affordable housing is required on application site for the reasons given above.

In principle, the development would be acceptable in accordance with the Development Plan.

Form and Character:

The general form and character of the area is relatively densely developed, with modest sized dwellings and on small plots. The application site is in keeping with newly established form and layout of the locality. Currently, the site appears to be a vacant plot in between two built-out plots.

Whilst the utility pipelines and easement strips have steered the layout of the proposed development towards the south-eastern corner of the site, in close proximity to the shared boundary, it is considered to be in keeping with the existing building line and the wider pattern and layout of development in the area.

The footprint, scale, mass, design and appearance of the proposed dwelling appropriately reflects and responds positively to the existing local character, in accordance with Snettisham's Neighbourhood Plan Policy NP05 – Materials and Design.

The size of the proposed private amenity space is commensurate to the small three-bedroom bungalow proposed. This accords with the Neighbourhood Plan Policy NP06 relating to housing density, which states that '*New dwellings should have gardens, the size of which shall be at least equal to the footprint of the building, including any garages*'.

In order to take a precautionary approach in light of the Parish Council's concerns, conditions will be recommended for the removal of PD rights for extensions, roof alterations and outbuildings.

On the basis of the above, it is considered that the proposed development complies with the aims and objectives of the above-mentioned Neighbourhood Plan Policies; Local Plan Policies CS06, CS08, DM2 and DM15; and the general provisions of the NPPF.

Neighbour Amenity:

The application site is adjoined by detached bungalows to the east and west. The proposed dwelling would be sited in close proximity to the eastern site boundary, therefore possibly impacting on the amenities of those neighbouring residents.

The proposed dwelling is shown to be sited approximately 1.4m from the eastern boundary to the front, and as the boundary tappers to the north, the rear would be approx. 500mm from the shared boundary.

Whilst it is acknowledged that there is limited separation distance between the proposed and the neighbouring property, this should be weighed in the planning balance.

The proposed dwelling is of modest scale and proportions, measuring approx. 5.4m to the ridge of eastern gable-end and 2.5m to its eaves. The ridge height of the rear projection is approx. 4.9m. The depth of the proposed dwelling is approx. 12.8m.

The location of the new dwelling on the site would be adjacent to the neighbour's driveway and although there appears to be some patio type hard surfacing within that space, it is immediately outside of the dwelling, thus with a degree of separation from the proposed dwelling (approx. 6m). Furthermore, there is a small formal private garden area to the rear of that property for amenity purposes.

The separation distance between the proposed dwelling and the neighbouring dwelling's western elevation is approximately 9.4m.

In assessing overshadowing and overbearing impact, the proposed dwelling is sited to the west of the closest neighbouring property which means that there is the potential for a degree of shadow to be cast towards the end of the day and towards the rear of the neighbour's space to the side of their dwelling.

However, this would be limited due to the small scale of the proposed dwelling (outlined above). Furthermore, the existing 1.8m close boarded timber fence and conifer hedge, possibly reaching 2.5m high, which is on the neighbour's land, would currently cast a shadow to some degree over this area.

On the basis of the above, it is not considered that the proximity of the proposed dwelling to the shared boundary with the neighbouring property would cause a significant impact on residential amenity by way of the limited overshadowing likely to arise and due to the fact that the space in which it will impact upon is mostly driveway.

Similarly, it is not considered that there would be a significant overbearing impact to the neighbouring property due to the small scale of the proposed dwelling together with the use of the space to the side and the separation distance between the proposed dwelling and the neighbour's westerly facing windows.

Additionally, it is considered that by virtue of the modest height of the proposed bungalow and the distance between the proposed and the neighbour's west and south facing elevations would be such that the development would not result in a material loss of light to those resident's windows.

In terms of overlooking, there are no windows proposed on the eastern elevation of the new bungalow, other than a small en-suite window but this is likely to be obscurely glazed.

Notwithstanding this, given the relatively even ground levels, together with the small scale of the proposed bungalow and the provision of screening from the 1.8m close board fence, any potential loss of privacy would be mitigated against to both the east and west.

Therefore, it is considered that there are no overlooking concerns that would arise from the proposed development.

In regard to the proposed garage / cartlodge, it would be located towards the north-western corner of the application site, abutting the shared boundary. It would be sited in close proximity to the neighbour's garage, slightly overlapping one another. The garage measures approx. 5m in height and is approx. 34 square metres in footprint.

Although the proposed garage abuts the shared boundary with the neighbour to the west, any subsequent resulting impact is considered to be limited due to its overall scale and its relationship with the immediate area of garden adjoining the neighbour's existing garage.

The westerly neighbour has a reasonably sized, usable amenity space that would be unaffected by the development, thus any overbearing impact is not considered to be significant to warrant refusal of the application.

The relationship between the proposed garage and garden of the neighbouring property is not uncommon in the area.

Taking the above into account, it is considered that the proposed development would not result in a significant impact upon the amenities of the neighbouring residents, particularly those to the east, in terms of overlooking, overshadowing, loss of light and overbearing for the reasons given above.

Therefore the proposal accords with the general aims and objectives of the Neighbourhood Plan; Local Plan Policies CS08 and DM15 and the provisions of the NPPF.

Highway Safety:

The application proposes to utilise an existing access at the south-western corner of the site. On-site parking provision for a minimum of two cars and turning area are proposed.

The Local Highway Authority has raised no objection to the proposed development on highway safety grounds, subject to conditions relating to the construction of the vehicular / pedestrian access; and on-site parking and turning.

The proposal would therefore comply with Policy CS11 of the CS 2011 and Policies DM15 and DM17 of the SADMPP 2016.

Other Material Considerations:

Archaeology:

Previous archaeological investigations immediately to the west (2019) and north (2014) of the proposed development site have produced significant evidence of medieval occupation which may extend to within the current application site.

Consequently, there is potential that heritage assets with archaeological interest (buried archaeological remains) may be present at the site and that their significance will be affected by the proposed development.

Norfolk Historic Environment Service has raised no objection to the proposal but has requested conditions relating to a programme of archaeological mitigatory work in accordance with National Planning Policy Framework para. 199 and Policy CS12 of the CS 2011.

Flood Risk and Drainage:

The site is located within Flood Zone 1 according to the Councils Strategic Flood Risk Maps.

The foul water drainage for the site will be connected to the mains sewer and the Surface water will be disposed of via an existing water course (the drain to the north). Whilst the applicant owns the part of the drain that is immediately adjacent to the application site boundary, it is unknown who has rights over the remainder of the ditch.

This watercourse drains into a culverted ditch further to the west of the site.

The wider development is serviced by a site-specific drainage system, comprising attenuated storage for surface water runoff within the individual plot curtilages and a hydrobrake system incorporated to control the discharge from the site into the ditch equivalent to the natural greenfield run off rate. This was considered acceptable within the outline and RM applications to avoid any localised surface water drainage / flooding issues.

Due to historic concerns over drainage on the wider site and the little information submitted with the current application in relation to the impact of additional surface water drainage into the adjacent drain, a pre-commencement condition is recommended to ensure that the development would not give rise to significant drainage issues in the locality.

The proposed development would therefore accord with Policy CS08 of the CS 2011; Policy DM15 of the SADMPP 2016; and the general provisions of the NPPF.

Ecology:

It is noted that the adjoining watercourse is a feature that could have potential ecological impacts resulting from the proposed development.

However, from previous surveys on the wider site (2019), it was concluded that the drain is unsuitable for water vole and otter species due to the low water level and heavy shading from vegetation. The conditions of the ditch and lack of ponds in the locality means that there is no potential to support great crested newts.

Whilst the previous surveys are typically 'out of date', taking the above into account and given that the proposal involves the construction of only one additional bungalow, on a site closely linked to a recent development site and surrounded by residential property, it would not be proportionate to request an Ecology Survey to support the application.

An informative will be attached to the decision should the application be approved advising the applicant to have consideration for the Wildlife and Countryside Act 1981 and The Conservation of Habitats and Species Regulations 2017, stating that if protected species are found during construction, works shall stop immediately and advice should be sought from a qualified ecologist.

The proposal would therefore comply with Policy CS12 of the CS 2011; Policy DM15 of the SADMPP 2016; and the provisions of the NPPF.

Third Party Representations:

All Third Party comments have been taken into consideration in reaching a recommendation for the proposed development, most of which have been addressed above in the report.

In regard to noise and disturbance associated with contractors on site, the current proposal involves the construction of only one dwelling, in which case the construction period will be shorter than that of the adjacent wider site. As those works would take place for a temporary period of time, it is not considered that they would result in significant harm to the long-term living conditions of neighbouring residents and as such would not warrant refusal of the application.

If any unacceptable levels of noise and disturbance should arise from the development site, Environmental Health could pursue this as a statutory nuisance under the Environmental Protection Act 1990.

An informative will be attached to the decision notice to make the applicant aware.

With reference to the gas pipeline running through the site, this is not reason itself to refuse an application for development purposes. The easement zone has been shown on the submitted plans and the layout of the development avoids this area. Further consideration of this matter would go beyond the scope of Planning Control and is covered under separate legislation.

CONCLUSION

It is considered that the proposed bungalow and garage relates appropriately to the character and context of the surrounding development and wider area, in terms of its scale, layout, form, design and appearance, and thus would cause no visual harm to the street scene.

It is considered that the proposed development would not cause a significant impact on the amenities of neighbouring residents, in terms of overlooking, overshadowing, loss of light and overbearing, due to its small scale and relationship with those adjacent dwellings and their amenity space.

There are no outstanding highway safety, ecological or drainage concerns (the latter of which can be controlled by condition).

Overall, it is considered that the proposal accords with Neighbourhood Plan policies NP02, NP05, NP06, NP07 and NP08; Core Strategy Policies CS01, CS02, CS06, CS08, CS11 and CS12; SADMP Policies DM1, DM2, DM15 and DM17; and the general provisions of the NPPF.

RECOMMENDATION:

APPROVE subject to the imposition of the following condition(s):

- 1 Condition: The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
- 1 Reason: To comply with Section 91 of the Town and Country Planning Act, 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act, 2004.
- 2 Condition: The development hereby permitted shall be carried out using only the following approved plans: 210886/10/50 and 210886/10/51.
- 2 Reason: For the avoidance of doubt and in the interests of proper planning.
- 3 Condition: Prior to the first occupation of the development hereby permitted the vehicular/pedestrian/cyclist access/ over the footway shall be constructed in accordance with the highways specification (TRAD 4) and thereafter retained at the position shown on the approved plan. Arrangement shall be made for surface water drainage to be intercepted and disposed of separately so that it does not discharge from or onto the highway.
- 3 Reason: To ensure construction of a satisfactory access and to avoid carriage of extraneous material or surface water from or onto the highway in the interests of highway safety, in accordance with Neighbourhood Plan Policies NP07 and NP10; Local Plan Policies CS08, CS11, DM15 and DM17; and the general provisions of the NPPF.
- 4 Condition: Prior to the first occupation of the development hereby permitted the proposed access/onsite car parking/turning area shall be laid out, levelled, surfaced and drained in accordance with the approved plan and retained thereafter available for that specific use.

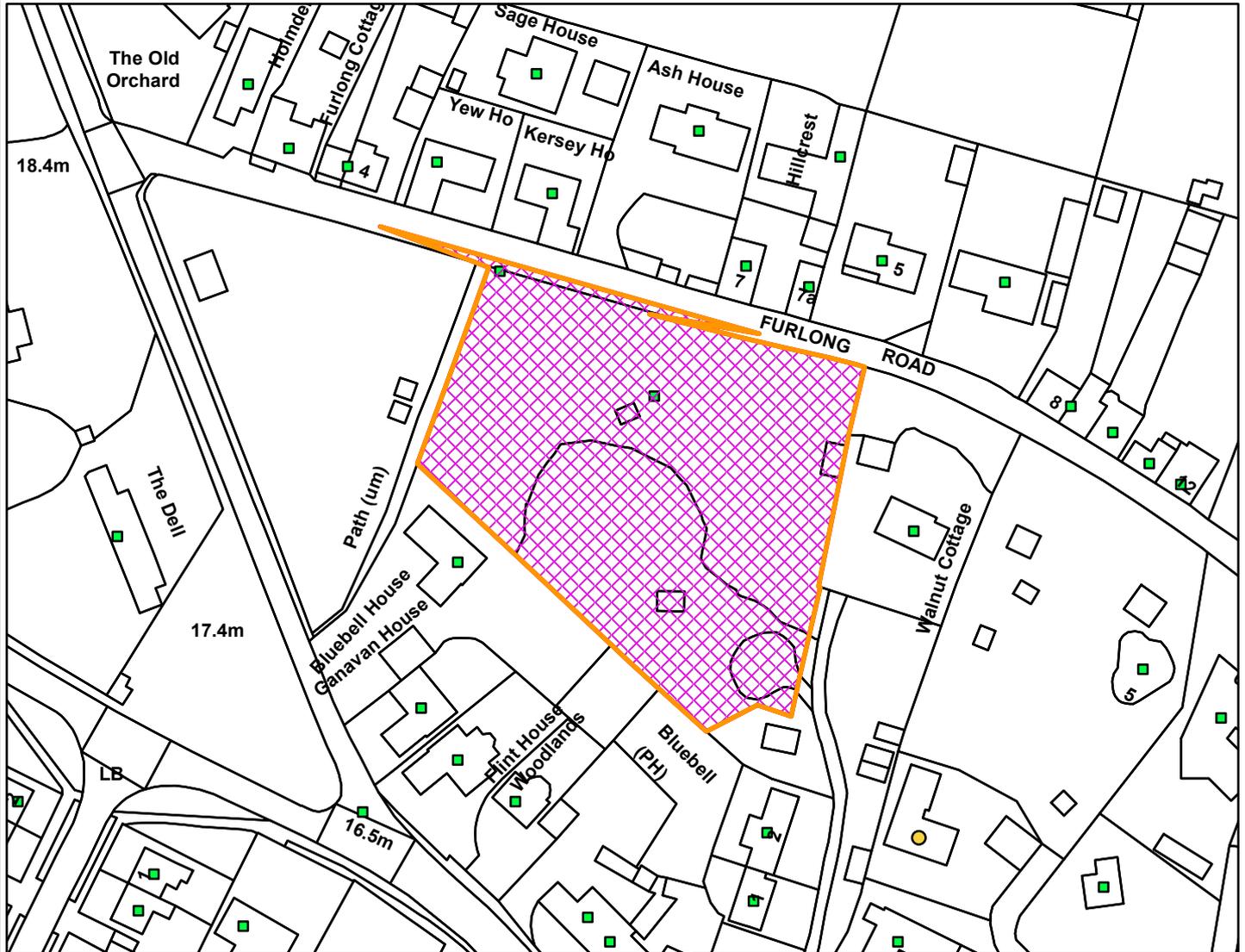
- 4 Reason: To ensure the permanent availability of the parking/manoeuvring areas, in the interests of satisfactory development and highway safety, in accordance with Neighbourhood Plan Policies NP07 and NP10; Local Plan Policies CS08, CS11, DM15 and DM17; and the general provisions of the NPPF.
- 5 Condition: No development shall take place until an archaeological written scheme of investigation has been submitted to and approved by the local planning authority in writing. The scheme shall include an assessment of significance and research questions; and 1) The programme and methodology of site investigation and recording, 2) The programme for post investigation assessment, 3) Provision to be made for analysis of the site investigation and recording, 4) Provision to be made for publication and dissemination of the analysis and records of the site investigation, 5) Provision to be made for archive deposition of the analysis and records of the site investigation and 6) Nomination of a competent person or persons/organization to undertake the works set out within the written scheme of investigation.
- 5 Reason: In the interests of potential archaeological remains within the site, in accordance with Neighbourhood Plan Policy NP08; Local Plan Policies CS01, CS12 and DM15; and the general provisions of the NPPF.
- 6 Condition: No development shall take place other than in accordance with the written scheme of investigation approved under condition 5.
- 6 Reason: In the interests of potential archaeological remains within the site, in accordance with Neighbourhood Plan Policy NP08; Local Plan Policies CS01, CS12 and DM15; and the general provisions of the NPPF.
- 7 Condition: The development shall not be occupied until the site investigation and post investigation assessment has been completed in accordance with the programme set out in the archaeological written scheme of investigation approved under condition (5) and the provision to be made for analysis, publication and dissemination of results and archive deposition has been secured.
- 7 Reason: In the interests of potential archaeological remains within the site, in accordance with Neighbourhood Plan Policy NP08; Local Plan Policies CS01, CS12 and DM15; and the general provisions of the NPPF.
- 8 Condition: Notwithstanding the provisions of Schedule 2, Part 1, Classes A, B, C and D of the Town and Country Planning (General Permitted Development)(England) Order 2015 (or any order revoking and re-enacting that Order with or without modification), the enlargement, improvement or other alteration of a dwelling house, the enlargement of a dwelling house consisting of an addition or alteration to its roof, or the erection or construction of a porch outside any external door of a dwelling house, shall not be allowed without the granting of specific planning permission.
- 8 Reason: In order that the Local Planning Authority may retain control of development which might be detrimental to the amenities of the locality if otherwise allowed by the mentioned Order.
- 9 Condition: Notwithstanding the provisions of Schedule 2, Part 1, Class E of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking and re-enacting that Order with or without modification), the provision within the curtilage of the dwelling house of any building or enclosure, swimming or other pool shall not be allowed without the granting of specific planning permission.

- 9 Reason: In order that the Local Planning Authority may retain control of development which might be detrimental to the amenities of the locality if otherwise allowed by the mentioned Order.
- 10 Condition: Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no new windows/dormer windows (other than those expressly authorised by this permission), shall be allowed without the granting of specific planning permission.
- 10 Reason: In order that the Local Planning Authority may retain control of development which might be detrimental to the amenities of the locality if otherwise allowed by the mentioned Order.
- 11 Condition: No development shall commence on site until full details of the surface water drainage arrangements have been submitted to and approved in writing by the Local Planning Authority. The drainage details shall be constructed as approved before any part of the development hereby permitted is brought into use.
- 11 Reason: To ensure that there is a satisfactory means of drainage in accordance with the NPPF.

This needs to be a pre-commencement condition as drainage is a fundamental issue that needs to be planned for and agreed at the start of the development.



Land S of 4A To 7A Furlong Road Stoke Ferry Norfolk PE33 9SU



Legend

[Empty legend box]

Scale: 1:1,250

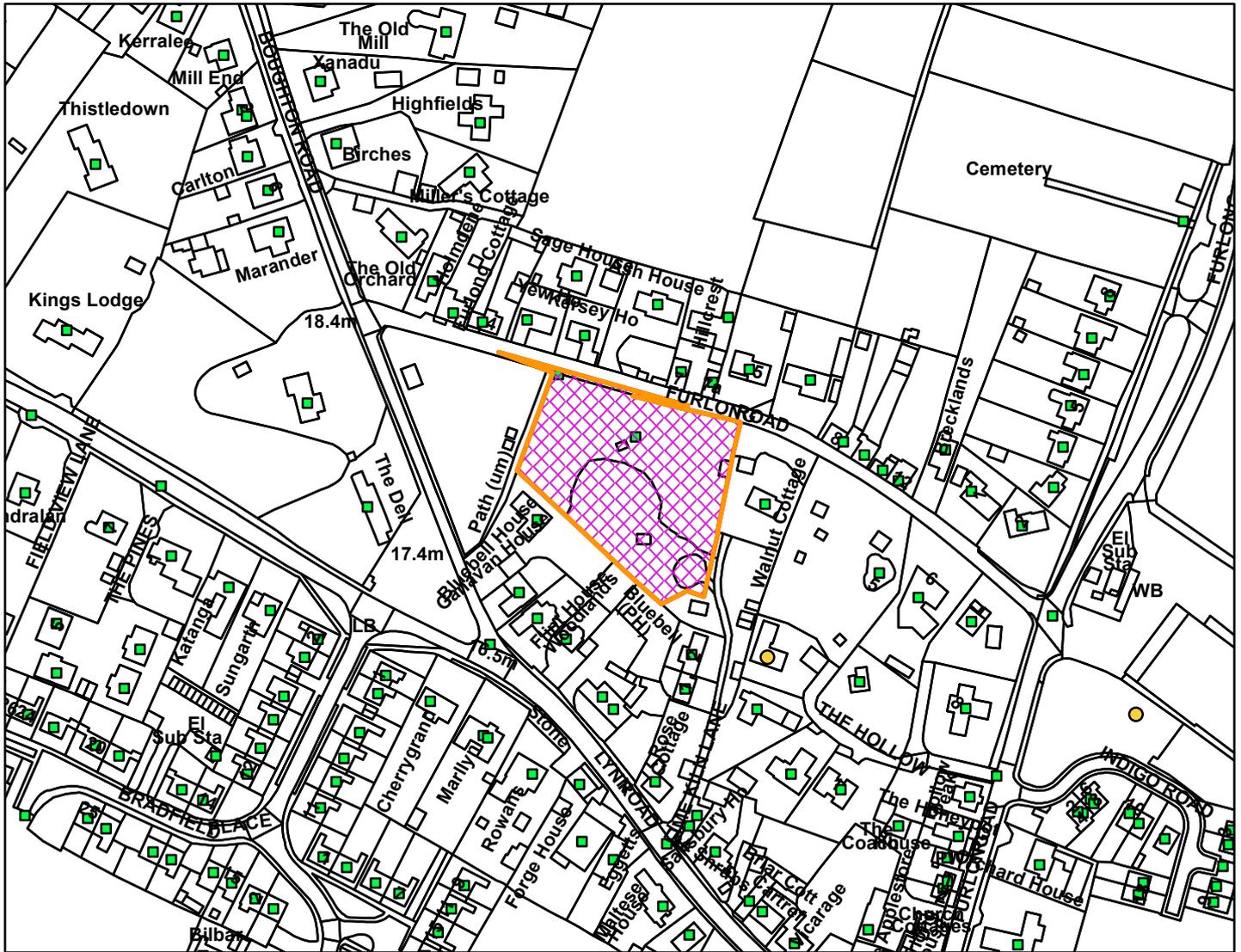
Reproduced from the Ordnance Survey map with permission of the Controller of His Majesty's Stationery Office © Crown Copyright 2023.

Unauthorised reproduction infringes Crown Copyright and may lead to prosecution or civil proceedings.

Organisation	BCKLWN
Department	Department
Comments	
Date	19/04/2024
MSA Number	0100024314



Land S of 4A To 7A Furlong Road Stoke Ferry Norfolk PE33 9SU



Legend

[Empty legend box]

Scale: 1:2,500

Reproduced from the Ordnance Survey map with permission of the Controller of His Majesty's Stationery Office © Crown Copyright 2023.

Unauthorised reproduction infringes Crown Copyright and may lead to prosecution or civil proceedings.

Organisation	BCKLWN
Department	Department
Comments	
Date	19/04/2024
MSA Number	0100024314

Parish:	Stoke Ferry	
Proposal:	VARIATION OF CONDITIONS 7, 9, 11, 14, 15, 16, 18, 19 AND 21 OF PLANNING PERMISSION 21/01226/F: Proposed two-storey new dwelling with garage	
Location:	Land S of 4A To 7A Furlong Road Stoke Ferry Norfolk PE33 9SU	
Applicant:	Mr & Mrs E Fuller	
Case No:	23/01375/F (Full Application)	
Case Officer:	Mrs C Dorgan	Date for Determination: 9 October 2023 Extension of Time Expiry Date: 10 May 2024

Reason for Referral to Planning Committee – Application called in by Cllr Lintern.

Neighbourhood Plan: Yes

Case Summary

The application seeks to amend specific conditions attached to extant planning consent 21/01226/F 'Proposed two-storey new dwelling with garage' at Furlong Road, Stoke Ferry.

The conditions the applicant is seeking to vary are no. 7 relating to off-site highway works and conditions 18 and 19 which are arboricultural conditions. Conditions no.9 (related to drainage), no.11 (archaeology), no.s 14, 15 and 16 (contaminated land), and condition 21 (the provision of a Construction Management Plan), are all to be discharged and removed, or amended, as a result of the submission of additional information.

Key Issues

- Principle of Development
- Drainage
- Tree Protection and Impact on the Conservation Area
- Off-Site Highways Works
- Other Material Considerations

Recommendation:

APPROVE

THE APPLICATION

The application seeks to amend specific conditions attached to extant planning consent 21/01226/F 'Proposed two-storey new dwelling with garage' at Furlong Road, Stoke Ferry.

The conditions the applicant is seeking to vary are no. 7 relating to off-site highway works and conditions 18 and 19 which are arboricultural conditions. Conditions no.9 (related to drainage), no.11 (archaeology), no's 14, 15 and 16 (contaminated land), and condition 21 (the provision of a Construction Management Plan), are all to be discharged and removed, or amended, as a result of the submission of additional information.

The application seeks to vary the original consent to accommodate the detailed drainage details, and this will include amended works to the existing trees on site. Furthermore, the applicant has submitted information regarding contaminated land and archaeology as well as the Construction Management Plan. The design of the dwelling remains unchanged and as such the application does not include any revised drawings of the dwelling proposed.

The application site is located in a former quarry. Furlong Road is to the north adjacent to the site, the ground drops steeply towards the eastern end of the site into the formerly quarried area. Private dwellings are on the far side of Furlong Road, opposite the site; to the west is grazing land, to the south private dwellings with their rear gardens backing onto the site; to the east is a private dwelling at the north end and Lime Kiln Lane to the south, the Lane leads out onto the Lynn Road, Stoke Ferry. Access to the proposed dwelling was approved via Furlong Road. The applicant has a right of way along Lime Kiln Lane and it is proposed to use this access during construction.

SUPPORTING CASE

This is a variation on the plans for a single dwelling, which has already received consent. The variation in pre-conditions arises mainly from required compliance with current foul water and drainage regulations, for good environmental reasons. The variation is predominantly a small amendment to the Arboricultural report and tree protection plan, necessary for the drainage systems to be fully compliant. The report sets out in detail protection, removal, and new planting. The variation is also seeking discharge of the outstanding pre-commencement conditions.

This submission is the result of significant investment in the pre -conditions of the original consent made in good faith. Our agents have maintained good communications with the planning officers through the process, who have been most helpful. We note that the officers are fully satisfied with the discharge of pre-conditions and support the variation. We are aware of local concerns regarding site traffic. The site is accessed via Lime Kiln Lane, where we ourselves lived between 1974 and 2018. The lane has been used historically by construction traffic, e.g., for building a 4-bedroom house further down the lane, for extending No 2 and for poured concrete deliveries to the site for a large shed. The lane is used by larger vehicles, such as oil tankers, a touring caravan, septic tank maintenance and goods delivery.

We understand the concerns of lane residents and have kept them informed of our plans. We have asked the various construction services used in the pre-condition work, such as deep bore drilling and soil excavation machinery, to undertake preliminary site access inspections before using the lane.

As part of the conditions, once the construction is complete, vehicle access will be via Furlong Road, thus reducing traffic on Lime Kiln Lane. This approach reduces the impact on

Furlong Road during construction, a few of whose residents have expressed concerns. The conditions address these concerns.

To help the committee understand our position; the site has been owned by our family since the 1930s. The family have tended it, but it does not look after itself. Visitors to the site consider it to be quite rare and lovely, as we do. The consented single dwelling on a 0.48-hectare site in a conservation area is, in our judgement, the best way of ensuring the character is maintained and the ecology well managed by future generations.

PLANNING HISTORY

21/01226/F: Application Permitted: 24/11/21 - Proposed two-storey new dwelling with garage - Land S of 4A To 7A Furlong Road Stoke Ferry

18/00893/F: Application Permitted: 12/07/18 - Construction of wooden shed with area for nesting swifts - Swift Cottage 2 Lime Kiln Lane

16/00210/F: Application Refused: 04/04/16 - Proposed dwelling and associated garage - Land Adj 2 Lime Kiln Lane

RESPONSE TO CONSULTATION

Parish Council: OBJECTION

The original planning application was not called in, despite the PC requesting this. There were a significant number of objections, hence there were several issues which were not aired or discussed as requested by our PC and residents.

Condition 7 - It is obvious when you look at Furlong Road most days there is a shortage of parking spaces on this road, what will stop people from parking in this passing bay? Notices will not suffice if not policed and that we have been told on numerous occasions is not an option.

Further information needs to be provided to show how the bank will be strengthened. We have already had issues with the bank crumbling further along Furlong Road due to trees being removed. This application is proposing to remove trees to make the passing bay and this is all that

is holding the bank and road up in this area. We would like to see evidence of how they will engineer the structure to hold the bank.

Condition 18 – The original plan was for Lime Kiln Lane to be the designated construction route. This has now been highlighted as not possible. However, Furlong Road is not suitable for heavy goods vehicles. There is signage to clearly show this. It would be irresponsible to bring traffic, in particular heavy vehicles, through this route bearing in mind the unstable bank.

This is a conservation area and the proposal to remove trees is extremely disturbing. It will totally alter the feel and outlook of a quiet lane.

In addition, creating the property access road off Furlong Road was objected to due to the gradient of the drive being too steep. This has now been highlighted in the plans stating that a lorry would not be able to use this road to empty the cess pit. The cesspit (46000L) is now being located at the top of the property, very close to Furlong Road and close to

23/01375/F

Planning Committee
7 May 2024

neighbouring properties. This was not in the original plans and we strongly object to this location.

Furthermore, access would seem to rely on visibility being available if the neighbouring property keeps its verge and hedges cut back.

We would like the Borough Council to have a site visit and for Highways to attend so that the proposed plans can be reviewed more thoroughly.

Highways Authority: NO OBJECTION subject to condition

Agree to the amendment to the condition on the basis that this would enable the LPA to take enforcement action should it be necessary. However, any work carried out below slab level is at the applicants own risk and expense.

Approval for a 278 Works Agreement will only be given when and if the stability of the bank is satisfactorily assured and approved by our lab and technical design check process. We would advise the 278 is achieve first before embarking on building costs without an agreement being in place but that would ultimately be a decision for the applicant.

Environmental Health & Housing - Environmental Quality: NO OBJECTION subject to condition

The applicant has submitted a Desk Study (by Richard Jackson Engineering, dated June 2022). The report identifies sources of contamination onsite and offsite related to the previous uses and identifies a moderate risk from the potential sources of contamination. A Ground Investigation report (by Richard Jackson Engineering, dated April 2023) has also been submitted. The use of boreholes and trial pits enabled soil sample testing and gas monitoring. The report states the calculated screening value for the site is given as CS1 which does not require any ground gas mitigation measures. The results of the soil analysis shows no exceedances of the assessment criteria for residential with home grown produce for any of the contaminants tested. As no exceedances were encountered for any contaminant that would pose a risk to future users, the report does not consider remediation to be necessary.

As a result condition 14 (of the extant consent) relating to site characterisation is no longer necessary and given the report does not recommend any remediation conditions 15 and 16 are also no longer required. It is recommended that condition 17 regarding unexpected contamination condition should be carried forward and attached to this application.

Arboricultural Officer: NO OBJECTION subject to conditions

Having reviewed the amended Tree Protection Plan, this is now acceptable.

No objection to this proposal, subject to conditions being attached for tree protection and retention. Please add the Arboricultural Implications Assessment Job number 26736 & Tree Protection Plan, Drawing number 26736/901 Rev C by Plandescil to the list of approved documents and use conditions to protect and retain existing trees.

Ecologist: NO OBJECTION

Having visited the site, an assessment was made of trees proposed for removal for their bat roosting potential. That assessment did not identify any potential roosting features and so no further surveys were considered to be required. As a precautionary approach would

recommend that an informative is added to any decision notice to further reduce any risk to protected species.

Conservation Officer: NO OBJECTION

Community Safety and Neighbour Nuisance Officer: NO OBJECTION

Can confirm the attached plan is acceptable in terms of the proposed site drainage. Can confirm the CEMP Rev A (with red text amendments) would satisfy CSNN.

Historic Environment Service: NO OBJECTION

We can confirm that an archaeological written scheme of investigation has been received and approved by Norfolk County Council Environment Service. We are therefore happy for condition 11 on planning permission 21/01226/F to be discharged. However, we recommend that conditions 12 & 13 remain until we have received and approved the final report on the fieldwork and post-excavation analysis, publication and archiving have been secured.

Public Rights of Way: NO OBJECTION

We have no objection in principle to the application but would highlight that a Public Right of Way, known as Stoke Ferry Footpath 3 is aligned adjacent to the Western boundary of the site. The full legal extent of this footpath must remain open and accessible for the duration of the development and subsequent occupation.

REPRESENTATIONS

EIGHT OBJECTIONS have been received, and these are summarised below –

- The development would be detrimental to the local environment, flora and fauna.
- The planned development would require the removal of mature Hawthorne hedges and removal of other well-established trees, which is abundant with wildlife that would result in destruction of habitation. Bats have also been noted in the area, so could I ask, has a bat survey actually been conducted?
- Will have a very significant and negative impact to the wildlife that inhabits the area which include but is not limited to Bats, Hedgehogs, Nesting birds, Deer's, insects and slow worms.
- The removal of trees was not on the original application and will greatly change the view of Furlong Road, affect wildlife, and have a detrimental effect on the area. This is a conservation area this is totally unacceptable.
- What steps are to be taken to replant the area?
- As residents with a property facing the construction site, we have had no say in how the new development would affect the look and feel of Furlong Road or how it would affect other neighbours along it.
- Why have conservation areas if they can be changed so drastically and not be conserved?
- The inclusion of a passing place on Furlong Road would be unnecessary. Not to mention the construction of said passing place causing the destruction of trees that are part of a conservation area.
- Will have a detrimental effect upon this already congested lane. A passing place/lay-by will be used simply to park and congest the lane further. Inappropriate and dangerous to put this in place in this small lane.

- There is not enough verge at the side to permit 2.5 metres of passing lane and the removal of some of the trees, as proposed, will further destabilize the very steep bank alongside the passing place and make it extremely dangerous to use. Before this passing place is to be considered it needs a full site meeting and extensive engineering works to ensure that any passing place put in place would be safe.
- HGVs during construction would block the road and be a huge inconvenience to all passing traffic and neighbours. Safety would be compromised for all road users.
- There are electric wires across the entrance and no space to turn or unload making any large vehicles attempting to use a hazard for all road users including the large number of pedestrians which use the road.
- The proposed installation of a 46,000 litre cesspit at the top of the entrance is also totally unacceptable. There is not enough space to put this in, for the necessary vehicles to unload, other large vehicles to dig the large hole in a steep bank, place the tank in and then line it by filling in with concrete. Emptying the cesspit would also be problematic as the heavy vehicle needed to do so would not have access down the road which as already noted has restricted access to heavy vehicles.
- There is insufficient width for the splay and the bank needs major reinforcement.
- Original building access was to be from Lynn Road via Lime Kiln Lane, why has this been rescinded?
- The lane is used as a rat run for a large number of drivers who exceed the 30mph limit of the narrow lane. In addition to those speeding the proposed location of the driveway is to be positioned next to the public footpath which is constantly in use. My concern is that these persons will be put at risk from the vehicles entering and exiting the newly proposed driveway.
- Access seems to be relying on a visibility splay being available (if neighbouring property keep its hedges and verges cut back). Not possible hedge and vegetation, verges are already cut back.
- Proposed site entrance will be too steep for builder's equipment, emergency vehicles, together with low electric cables across the site entrance. Unloading of equipment will have to take place on this very narrow road, blocking access to properties, causing various safety issues.
- Hedge 4.9 m has already encroached approx 1.5 m across this footpath.
- Foul sewerage is also of great concern to local residents - 48,000 tank to be built on side of an old chalk quarry, already subject to subsidence.
- The proposal has been accepted because of poor and untimely action by parish representatives not listening to the concerns of other residents.

LDF CORE STRATEGY POLICIES

CS06 - Development in Rural Areas

CS08 - Sustainable Development

CS11 – Transport

CS12 - Environmental Assets

CS02 - The Settlement Hierarchy

SITE ALLOCATIONS AND DEVELOPMENT MANAGEMENT POLICIES PLAN 2016

DM15 – Environment, Design and Amenity

23/01375/F

Planning Committee
7 May 2024

NEIGHBOURHOOD PLAN POLICIES

Policy SF4 - Design and Character

Policy SF5 - Historic Environment and Conservation Area

Policy SF12 - Drainage and Flood Risk

Policy SF14 - Protection and Enhancement of Natural Features and Species

NATIONAL GUIDANCE

National Planning Policy Framework (NPPF)

Planning Practice Guidance (PPG)

National Design Guide 2021

PLANNING CONSIDERATIONS

The main considerations are:

- Principle of Development
- Drainage
- Tree Protection and Impact on Conservation Area
- Off-site Highways Works
- Other Material Considerations

Principle of Development:

Planning consent 21/01226/F is an extant consent for the construction of a dwelling and garage. This application does not seek to amend the positioning, footprint or design of the dwelling and garage as permitted.

Work has not commenced on site to date, given the need to discharge the pre-commencement conditions.

Therefore, the principle of development on the site has been established by the extant consent.

Drainage:

Condition 9 of planning consent 21/01226/F, required full details of foul and surface water drainage arrangements for the site to be submitted and agreed in writing prior to the commencement of development.

During the application process the applicant has provided appropriate drainage arrangements to minimise impact on the site, and to meet the requirements of CSNN. The drainage arrangements include the provision of a cesspit located by the entrance to the site, with foul water pumped to this. This would be entirely buried and the only part visible would be a manhole cover, and therefore when installed there would be a very limited impact on the visual amenity of the entrance to the site. Surface water drainage is to be managed via soakaways/ pipes/ drains to a storage tank. The drainage strategy has been agreed as being fit for purpose.

23/01375/F

Planning Committee
7 May 2024

While neighbours object to the provision of a cesspit in the location proposed, Stoke Ferry Neighbourhood Plan policy SF12 requires all development to mitigate its own flooding and drainage impacts. 'New development should not exacerbate existing surface water, groundwater or foul drainage problems..'

It is recommended that the development is in accordance with policy CS08 of the Core Strategy (2011) and policy DM15 of the Site Allocations and Development Management Policies Plan (2016), and policy SF12 of the Stoke Ferry Neighbourhood Plan.

Tree Protection and Impact on the Conservation Area:

The application site includes a significant number of existing trees which vary in quality and health. A detailed Arboricultural Report (Arboricultural Implications Assessment and Tree Protection Plan, prepared by Plandescil Ltd) has been submitted and the Council's Arboricultural Officer has visited the site and considered the information carefully.

The development has already been approved and in the determination of the original planning consent the visual impact of the development was assessed. The Conservation Area Character Statement describes this area as: 'The southern edge of the road consists of a mature hedgerow and tree belt contained around Lime Kiln Road'. Stoke Ferry Neighbourhood Plan Policy SF4 seeks to 'contribute positively to the character of the area by respecting ..local distinctiveness and character and seek to enhance its quality'. Policy SF 5 recognises the special character of Stoke Ferry Conservation Area and its setting, seeking to ensure that new development is in keeping with the special qualities, character and appearance of the Conservation Area and its settings. Encouraging the maintenance and enhancement of features and details which contribute to the area's local distinctiveness.

The proposed new dwelling itself is positioned outside all root protection areas and the vast majority of the trees within the site are to be retained and will therefore continue to contribute to the conservation area. Furthermore, several new trees (fruit) have recently been planted within the site. A new native species hedge is to be planted on the site side of the passing bay (on the northern boundary) to mitigate against the loss of the trees along this boundary. Condition 20 of the extant planning consent required full details of boundary treatments to be submitted to and agreed in writing by the LPA prior to occupation of the dwelling. This condition would need to be carried forward to the current consent should Members be minded to approve the scheme, and includes the requirement for a detailed planting plan for the planting of replacement hedges.

Based on the latest proposals, the scheme would require the removal of 6 low quality Category C trees to facilitate the driveway/ access and cesspit, plus 2 additional trees to be removed, 1 of which is dead and the other decaying, and the removal of an existing stretch of hedgerow along the western boundary of the site. The trees to be removed are primarily low quality self-set Ash trees (with one sycamore), most are not in good form or have significant lateral branches /dense canopies. The majority have ivy growing throughout and some have deadwood within their canopy. The hedgerow is well established but does overhang the public right of way by 1.5m (the brand spread is approximately 1m). For comparison purposes the previous consent required the removal of 3 ash trees to facilitate the provision of the passing bay. In terms of a fallback position, if the application were not to be approved the applicant would need to reconsider the proposed drainage strategy.

There are no objections from the Conservation Officer nor the Arboricultural officer. The applicant intends to retain the vast majority of trees on site. Plus those to be removed were largely of a poor quality with minimal canopy. With the majority of the trees to be retained across the site alongside replanting where replacement is necessary, the scheme is not considered sufficiently harmful to the character and appearance of the conservation area to

warrant refusal of this application. That said if Members considered it necessary an additional condition could be added to the consent requiring a replacement tree planting scheme for those trees proposed to be removed.

Objections have been received from neighbouring residents and the Parish Council about the impact of the loss of these trees to the appearance of the street scene and wider conservation area.

The methods of protection detailed within the report will secure the retention and protection of the existing trees, alongside the boundary treatment condition and the retention of landscaping. The scheme as proposed, with the details within the Arboricultural Report and the proposed conditions, are considered acceptable and in accordance with the NPPF, policies CS12 and DM15 of the adopted Local Plan and policies SF4 and SF5 of the Neighbourhood Plan.

Off-site Highways works:

This application does not seek to revise the agreed point of access, but there are minor changes proposed to the driveway within the site these are acceptable.

Condition 7 of the extant consent requires that no works shall commence on site until detailed drawings for the off-site highway improvements works (passing bay) have been submitted and agreed by the LPA. The applicant is in the process of achieving an appropriate design for the passing bay, which meets the requirements of the Local Highway Authority. However, this process is taking an increasing length of time and as such the applicant requests that the wording of the condition is amended to read '...no works above slab level shall commence on site...' The development of the dwelling is not acceptable without the provision of the passing bay, however it is not considered unreasonable for the applicant to commence groundworks to enact their consent. The condition would enable the Council to take enforcement action should any works commence above slab level prior to the submission and agreement of the passing bay. The Local Highway Officer has no objections to the proposed amendments.

There are a number of objections from the Parish Council and local neighbours to the highways/ access proposed for the development. Given the principle of development, access details and provision of a parking bay have already been agreed as part of the extant consent it would not be reasonable to seek to restrict/ remove these as part of this application. Information is requested as to the way in which the passing bay will be provided and the stability of the bank with the passing bay and proposed cesspit. These are technical matters for consideration by the Local Highway Authority in the detailed design of the bay and is already controlled via a specific planning condition. Similarly the provision of visibility splays is argued, again these were agreed as part of the previous planning consent and it is a requirement that the applicant maintains these accordingly.

Neighbour objections raise concerns at the location of the cesspit, to be positioned underground but adjacent to Furlong Road. They state that the vehicle would block the road when emptying this. However, this would not be a frequent occurrence (likely annual/ bi-annual) and the vehicle would likely to be able to utilise the entrance to the site once established.

The development as proposed is fully in accordance with the NPPF, policies CS08, CS11 and DM15 of the Local Plan and SF4 of the Neighbourhood Plan.

Other material considerations:

Ecology – Ecological impacts of the development were considered during the determination of application 21/01226/F. However, neighbours have raised concerns as part of this application that there may be bats roosting within the additional trees proposed for removal. The Council's Ecologist has visited the site and made an assessment of the trees proposed for removal for their bat roosting potential. That assessment did not identify any potential roosting features and so no further surveys are required. However, as a precautionary approach it is recommended that an informative is added to any decision notice to further reduce any risk to protected species.

Policy SF14 of the Stoke Ferry Neighbourhood Plan seeks to protect and enhance natural features and species. 'Natural features typical of the Fens landscape character of the area will be protected from development that would have an adverse impact upon their character, appearance, and biodiversity value. Development proposals should retain existing features of biodiversity or landscape value where possible to do so ... and provide at least a 10 per cent net gain for wildlife.... Where loss or damage to a feature is unavoidable, adequate mitigation measures or, as a last resort, compensation measures will be sought.'

The application is exempt from biodiversity net gain requirements. At the time the previous application was granted the Neighbourhood Plan was not in place, nor were the national requirements for all planning applications. While the development as proposed would result in the loss of a small proportion of natural features across the site, replacement planting is to be provided and will be secured via condition. This mitigation is considered to be adequate. The proposed amendments to the development are not considered contrary to the NPPF, policy CS12 of the adopted Local Plan or policy SF14 of the Neighbourhood Plan.

Archaeology - The application site lies on the site of a 19th century lime kiln, consequently, there is potential that heritage assets with archaeological interest (buried archaeological remains) were present at the site. A condition was attached to the extant consent requiring a programme of archaeological mitigatory work. The applicant has submitted an archaeological written scheme of investigation which has been approved by Norfolk County Council Environment Service. Therefore, condition 11 on planning permission 21/01226/F can be discharged. However, conditions 12 & 13 should be carried forward until the final report on the fieldwork and post-excavation analysis, publication and archiving have been submitted and approved.

Contaminated land – Historical maps shows a chalk pit on the site and a lime kiln adjacent. As such, it is a potential contamination source and should be treated as a brownfield site.

The applicant has submitted a Desk Study (by Richard Jackson Engineering, dated June 2022). The report identifies sources of contamination onsite and offsite related to the previous uses and identifies a moderate risk from the potential sources of contamination. A Ground Investigation report (by Richard Jackson Engineering, dated April 2023) has also been submitted. The use of boreholes and trial pits enabled soil sample testing and gas monitoring. The report states the calculated screening value for the site is given as CS1 which does not require any ground gas mitigation measures. The results of the soil analysis shows no exceedances of the assessment criteria for residential with home grown produce for any of the contaminants tested. As no exceedances were encountered for any contaminant that would pose a risk to future users, the report does not consider remediation to be necessary.

As a result condition 14 (of the extant consent) relating to site characterisation is no longer necessary and given the report does not recommend any remediation conditions 15 and 16

are also no longer required. It is recommended that condition 17 regarding unexpected contamination condition should be carried forward and attached to this application.

Neighbour Amenity - Concerns are raised about the movement of construction and delivery vehicles during the construction phase, and the impact of this on noise and disturbance to neighbouring dwellings, the condition of Furlong Road/ Lime Kiln Lane and the free movement of traffic. The applicant has submitted a Construction Management Plan which includes details regarding lighting, noise/ hours of construction works, controlling dust and mud, waste management, parking and deliveries and storage of materials. The Plan shows the parking, storage of materials and waste would all be on site with construction/ delivery vehicles being able to access the site via Lime Kiln Lane (as the applicant has a right of way) and there is sufficient space at the entrance to the site for delivery vehicles to pull on-site. CSNN has agreed the details within this are acceptable and would minimise potential unacceptable impacts on neighbouring residents. The implementation of the CMP should be attached as a condition.

CONCLUSION:

The application seeks to make amendments to an extant planning consent (21/01226/F) for a single detached dwelling and garage.

While objections have been raised to the original scheme, and that currently proposed, there are no statutory objections. Furthermore, it is considered that the scheme as proposed is in accordance with the NPPF, policies CS06, CS08, CS11 and CS12 of the adopted Core Strategy (2011), policy DM15 of the Site Allocations and Development Management Policies Plan (2016) and policies SF4, SF5, SF12 and SF14 of the Stoke Ferry Neighbourhood Plan. Members are therefore duly recommended to approve the application.

RECOMMENDATION:

APPROVE subject to the imposition of the following condition(s):

- 1 Condition: The development hereby permitted shall be begun before 24 November 2024.
- 1 Reason: To comply with Section 91 of the Town and Country Planning Act, 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act, 2004.
- 2 Condition: The development hereby permitted shall be carried out in accordance with the following approved plan (Drawing No 1087-02 C).
- 2 Reason: For the avoidance of doubt and in the interests of proper planning.
- 3 Condition: Prior to the first occupation of the development hereby permitted the vehicular access over the verge shall be constructed in accordance with the highways specification 5 and thereafter retained at the position shown on the approved plan.
- 3 Reason: To ensure construction of a satisfactory access and to avoid carriage of extraneous material or surface water from or onto the highway in the interests of highway safety and in accordance with CS11.

- 4 Condition: Notwithstanding the provision of the Town and Country Planning (General Permitted Development) Order (2015), (or any Order revoking, amending or re-enacting that Order) no gates/bollard/chain/other means of obstruction shall be erected across the approved access unless details have first been submitted to and approved in writing by the Local Planning Authority.
- 4 Reason: In the interests of highway safety in accordance with the principles of the NPPF and in accordance with CS11.
- 5 Condition: Prior to the first occupation of the development hereby permitted visibility splays measuring 2.4 metres x 33 metres (west) and 2.4m x 43 (east) shall be provided to each side of the access where it meets the nearside carriageway edge. With the exception of the utility pole, the splay(s) shall thereafter be maintained at all times free from any obstruction exceeding 0.6 metres above the level of the adjacent highway carriageway.
- 5 Reason: In the interests of highway safety in accordance with the principles of the NPPF.
- 6 Condition: Prior to the first occupation of the development hereby permitted the proposed access / on-site car parking / turning area shall be laid out, levelled, surfaced and drained in accordance with the approved plan and retained thereafter available for that specific use.
- 6 Reason: To ensure the permanent availability of the parking/manoeuvring areas, in the interests of satisfactory development and highway safety in accordance with CS11.
- 7 Condition: Notwithstanding the details indicated on the submitted drawings no works shall commence above slab level on site unless otherwise agreed in writing until detailed drawings for the off-site highway improvement works (passing bay) as indicated on Drawing No. 1087.02-C (size A1) have been submitted to and approved in writing by the Local Planning Authority. The stability of the bank would need to be assured as part of these details.
- 7 Reason: To ensure that the highway improvement works are designed to an appropriate standard in the interest of highway safety and to protect the environment of the local highway corridor in accordance with CS11.
- 8 Condition: Prior to the first occupation of the development hereby permitted the off-site highway improvement works (including Public Rights of Way works) referred to in condition 7 above shall be completed to the written satisfaction of the Local Planning Authority.
- 8 Reason: To ensure that the highway network is adequate to cater for the development proposed in accordance with CS11 and DM15.
- 9 Condition: The drainage details shall be constructed as approved under drawings -
61763/C/001 B ENGINEERING LAYOUT
61763/C/002 CONSTRUCTION DETAILS
before any part of the development hereby permitted is brought into use.
- 9 Reason: To ensure that there is a satisfactory means of drainage in accordance with the NPPF.

10 Condition: Notwithstanding the details shown on the approved plans before the first occupation of the dwelling hereby permitted the first floor windows to bedroom 1 on the south-west elevation shall be fitted with obscured glazing and non-opening. The windows shall be permanently retained in that condition thereafter.

10 Reason: For the avoidance of doubt and to safeguard the amenities of the locality in accordance with the NPPF and policy DM15.

11 Condition: No development shall take place other than in accordance with the written scheme of investigation-

WRITTEN SCHEME OF INVESTIGATION FOR MONITORING OF WORKS UNDER ARCHAEOLOGICAL SUPERVISION AND CONTROL carried out by WITHAM ARCHAEOLOGY (NGR: TF 70210 00320/ NHES REF: CNF49605/ Event Number: ENF152338) dated May 2022.

11 Reason: To safeguard archaeological interests in accordance with the principles of the NPPF.

12 Condition: The development shall not be occupied until the site investigation and post investigation assessment has been completed in accordance with the programme set out in the archaeological written scheme of investigation approved (WRITTEN SCHEME OF INVESTIGATION FOR MONITORING OF WORKS UNDER ARCHAEOLOGICAL SUPERVISION AND CONTROL carried out by WITHAM ARCHAEOLOGY (NGR: TF 70210 00320/ NHES REF: CNF49605/ Event Number: ENF152338) dated May 2022). and the provision to be made for analysis, publication and dissemination of results and archive deposition has been secured.

12 Reason: To safeguard archaeological interests in accordance with the principles of the NPPF.

13 Condition: In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken in accordance with current best practice, and where remediation is necessary a remediation scheme must be prepared, which is subject to the approval in writing of the Local Planning Authority. Following completion of measures in the approved remediation scheme, a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority.

13 Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

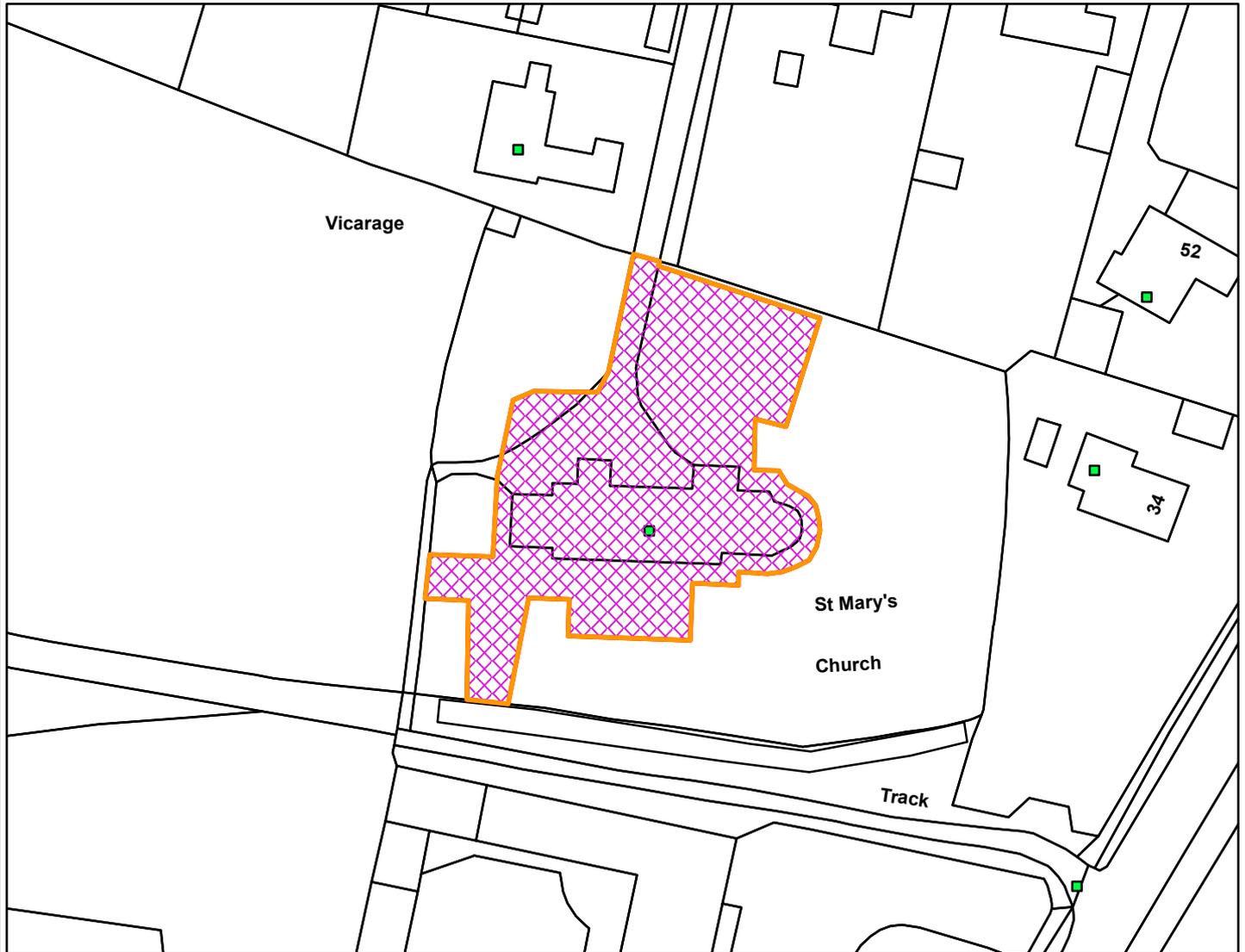
14 Condition: The development hereby approved shall be constructed in strict accordance with the Arboricultural Implications Assessment and Tree Protection Plan (Rev. B) and Drawing number 26736/901 Rev C produced by Plandescil and received on 16 Apr 2024., and retained as such thereafter.

14 Reason: To avoid damage to existing trees on site that represent an important visual amenity to the area in which the property is located and contribute to the Character of the Stoke Ferry Conservation Area in accordance with policy CS12.

- 15 Condition: Prior to the commencement of the development hereby approved all tree protection measures must be implemented in strict accordance with the approved Arboricultural Implications Assessment Job number 26736 & Tree Protection Plan, Drawing number 26736/901 Rev C by Plandescil.
- 15 Reason: To ensure that existing trees and hedgerows are properly protected in accordance with the NPPF.
- 16 Condition: No existing trees, shrubs or hedges within the site that are shown as being retained on the approved plans shall be felled, uprooted, willfully damaged or destroyed, cut back in any way or removed without the prior written approval of the Local Planning Authority. Any trees, shrubs or hedges removed without such approval or that die or become severely damaged or seriously diseased within 5 years from the completion of the development hereby permitted shall be replaced with trees, shrubs or hedge plants of a similar size and species in the next available planting season, unless the Local Planning Authority gives written approval to any variation.
- 16 Reason: To ensure that the development is compatible with the amenities of the locality in accordance with the NPPF.
- 17 Condition: Notwithstanding details shown on the approved plans prior to first occupation of the dwelling hereby permitted, a plan shall be submitted to and approved in writing by the Local Planning Authority indicating the positions, heights, design, materials and types of boundary treatments to be erected including the retention and enhancement of the hedging. For the hedgerows details should include planting plans, written specifications of plants noting species, plant sizes and proposed numbers and densities. The boundary treatment shall be completed/ planted before the dwelling is occupied or in accordance with a timetable to be approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.
- 17 Reason: To ensure that the development is compatible with the amenities of the locality in accordance with the NPPF.
- 18 Condition: The scheme shall be implemented as approved strictly in accordance with the CONSTRUCTION ENVIRONMENTAL MANAGEMENT PLAN Rev. A (loading/unloading access and working hours amended 11th Dec 2023) received 19 Dec 23.
- 18 Reason: To ensure that the amenities of future occupants are safeguarded in accordance with the NPPF.



Church of St Mary Church Road Wimbotsham PE34 3QL



Legend

Scale: 1:750

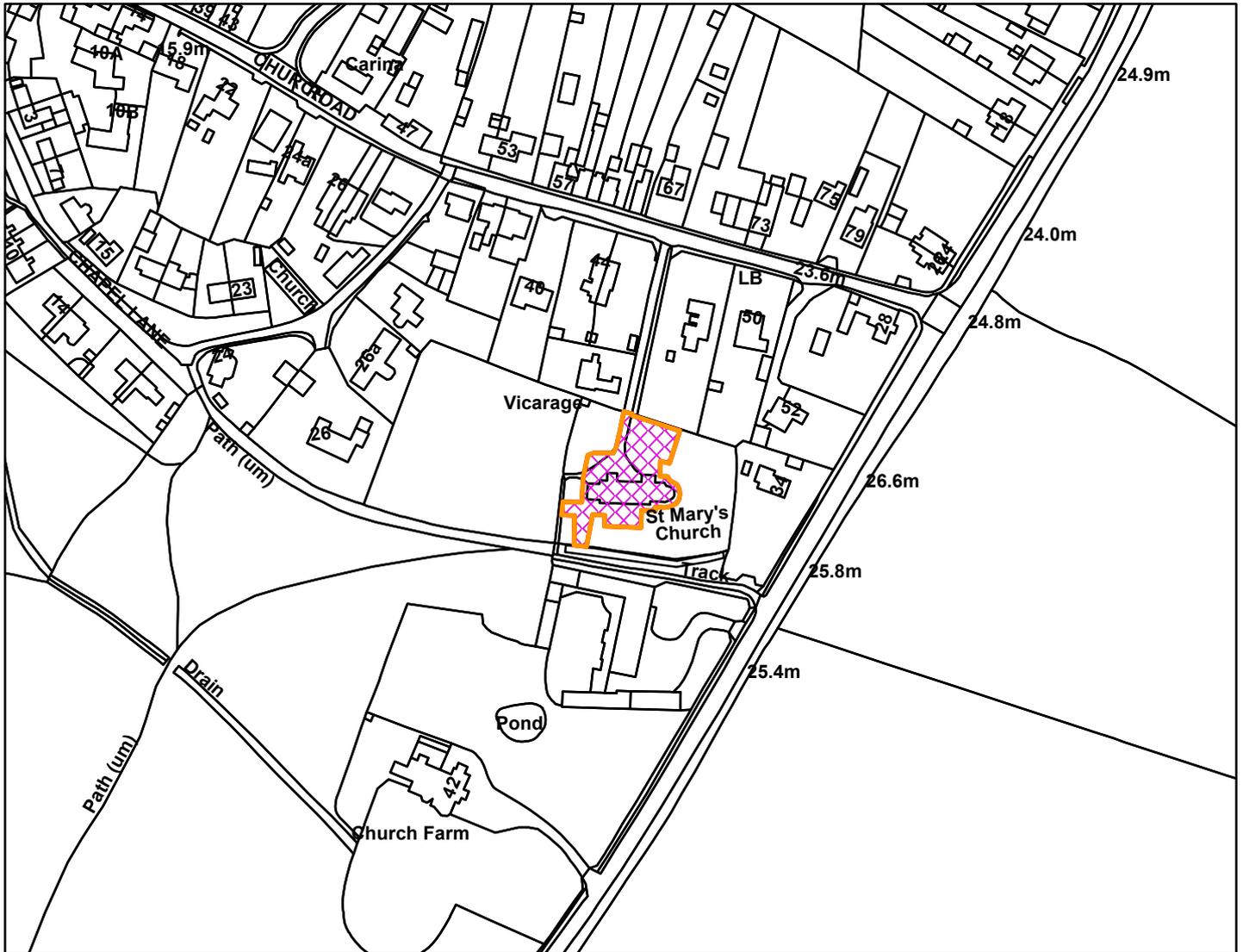
Reproduced from the Ordnance Survey map with permission of the Controller of His Majesty's Stationery Office © Crown Copyright 2023.

Unauthorised reproduction infringes Crown Copyright and may lead to prosecution or civil proceedings.

Organisation	BCKLWN
Department	Planning
Comments	
Date	23/04/2024
MSA Number	0100024314



Church of St Mary Church Road Wimbotsham PE34 3QL



Legend

[Empty legend box]

Scale: 1:2,500

Reproduced from the Ordnance Survey map with permission of the Controller of His Majesty's Stationery Office © Crown Copyright 2023.

Unauthorised reproduction infringes Crown Copyright and may lead to prosecution or civil proceedings.

Organisation	BCKLWN
Department	Planning
Comments	
Date	23/04/2024
MSA Number	0100024314

Parish:	Wimbotsham	
Proposal:	A single storey monopitch extension to the south of the church, Air Source Heat Pump (ASHP) and enclosure to the south-west of churchyard, integrated PV panels to the south slope of the Nave roof and external landscaping works.	
Location:	Church of St Mary Church Road Wimbotsham Norfolk PE34 3QL	
Applicant:	Wimbotsham Parochial Church Council (PCC)	
Case No:	23/02244/F (Full Application)	
Case Officer:	Mrs C Dorgan	Date for Determination: 15 February 2024 Extension of Time Expiry Date: 10 May 2024

Reason for Referral to Planning Committee – The officer recommendation is contrary to the Parish Council comments and the application was referred by the Sifting Panel.

Neighbourhood Plan: No

Case Summary

This application seeks permission for a single storey mono-pitched roof extension to the south of the church, including an air source heat pump and associated enclosure to the south-west of churchyard, integrated solar PV panels to the south slope of the nave roof, a car parking area to the north of the church, and external landscaping works. The vehicular access is as existing, via Church Road.

The application is at St. Mary's Church in Wimbotsham. The church is a Grade II* Listed Building, it was devastated by a fire in September 2019, and has not been in ecclesiastical use since. The interior and nave roof were destroyed by the fire. The site sits outside and adjacent to the development boundary for Wimbotsham and is within the Wimbotsham Conservation Area. The application seeks to bring new use and community services / facilities to this listed building.

Key Issues

- Principle of Development
- Form and Character (Impact on Listed Building and Conservation Area)
- Highways/Access/Parking
- Neighbour Amenity
- Other Material Considerations

Recommendation:

REFUSE

Planning Committee
7 May 2024

THE APPLICATION

This application seeks permission for a single storey mono-pitched roof extension to the south of the church, including an air source heat pump and associated enclosure to the south-west of churchyard, integrated solar PV panels to the south slope of the nave roof, a car parking area to the north of the church, and external landscaping works. The vehicular access is as existing, via Church Road.

The application is at St. Mary's Church in Wimbotsham. The church is a Grade II* Listed Building, it was devastated by a fire in September 2019, and has not been in ecclesiastical use since. The site sits outside and adjacent to the development boundary for Wimbotsham and is within the Wimbotsham Conservation Area.

Wimbotsham Church dates from the 12th century and was largely restored in the 1850s. The nave is essentially of Norman construction and the south elevation is home to one of the largest Norman doorways in Norfolk. The regular carstone block exterior is a Victorian restoration as are the chancel and apse. Much of the external fabric of the church survived the 2019 fire, but the nave roof, and all the interior furnishings were destroyed. The nave roof is to be reinstated with Welsh slate, which is reflective of the slate roof installed by the 1850s restoration.

The proposed extension would be located on the south elevation encapsulating the Norman doorway, perpendicular arched window, and the pointed arch window. It has a proposed footprint of 10.95m by 6.5m. The proposed materials of the extension would be brick on the lower course and south elevation, with large glazed panels on the east and west elevations. The lean-to roof of the extension with Welsh slate roof tiles would match the proposed roof tiles for the new nave roof. Solar PV panels are proposed to be placed on the south slope of the new nave roof and an air source heat pump is to be sited to the south west corner of the churchyard.

The proposed parking would be situated at the north of the churchyard, adjacent to the existing shared access track which leads down to Church Road. Some graves would need to be relocated to establish the ground for car parking.

The applicants sought pre-application advice from the Borough Council and Historic England prior to this application. This advice informed the application as submitted although as discussed below regrettably not all matters were resolved by these proposals.

SUPPORTING CASE

The Church have parked cars on an ad-hoc/casual basis at the churchyard for at least the last 40-odd years, this has not been restricted to the gravel skirt area around the North Porch entrance, cars would occasionally park on the grass either side of the track avoiding the limited number of headstones in that area. There has hardly been any parking at the churchyard since the fire in September 2019, with only the odd maintenance van and consultants/specialist's cars on limited occasions and these would have stayed in the hard standing. As it is 56 months since the fire there is therefore little physical evidence that the grassed area has been used for parking in the past.

Church Rd has parked cars to one side, a number of the houses along Church Rd do not have drives/garages, so need to park on the street. The Planning Pre-App noted that "At present parking is accommodated on the road successfully", however the church is not in use. Parking on Church Rd is not successfully accommodated, and the number of public comments in support of the parking in the churchyard is testament to this (17nr specifically

Planning Committee
7 May 2024

mention this out of the 44nr public comments of support). And this is reiterated by the Wimbotsham Town/Parish Council comment “We support this application but would like to see more parking”.

In the Planning Pre-App site plan there was 4nr wheelchair accessible parking spaces next to the North Porch and parking on grass reinforcement shown along the whole of the north boundary of the churchyard, which accommodated 13nr cars. This proposal was supported by Ely DAC. In the Planning Pre-App the Local Highway Authority did not make any comments on the parking areas shown and did not recommend removal of the parking area, they provided the following comment: This site has limited off-street parking and a substandard access so the development would only be considered to be acceptable on highway safety grounds on the basis that the extensions facilities are utilized in conjunction with the standard operations of the site and not used, for example, as a café/food hall that would effect additional undesirable on-street parking on an increased basis.

The new facilities are to be used in conjunction with the standard operations of the Church, such coffee mornings, soup lunches etc delivered as part of their ministry. Also note the Community Safety and Neighbourhood Nuisance comment “Having considered all the information, including objections, the development does not create a significant intensification of use”.

The Church would like to try and minimise disruption to Church Rd residents and continue to use the churchyard for casual parking as they have done in the past and this is the reason for the

PLANNING HISTORY

None.

RESPONSE TO CONSULTATION

Parish Council: SUPPORT

Wimbotsham Parish Council would like to SUPPORT the application but would like to see more parking.

Historic England: NO OBJECTION subject to conditions.

We are supportive of the rebuilding of the church and the wish to create a flexible building for both worship and community use. There are however parts of the scheme where further detail should be requested either at this stage or by way of condition. Modification of the parking might also help to reduce the impact of the scheme.

Significance -

The Listed church has stood at the centre of the community since the 12th century and embodies a wealth of architectural and historic interest. The decorative Norman north and south doorways are a characterful illustration of this early work. Later changes illustrate evolving architectural styles and the patronage of the building over the centuries up to a major restoration in the 19th century. It is attractively sited within a large churchyard.

Impact of the proposals -

The design of the south extension has been revised in line with the pre application advice. The extension is a lean-to addition echoing the linear plan of the church. It would enclose the

Planning Committee
7 May 2024

central three bays of the nave and change the appearance of the south side of the church. However, it has been designed to allow visibility of the elevation within the new room and, to a degree, from the churchyard through the predominantly glazed east and west walls.

The upper screens to the east and west glazing have been introduced since the pre application. These would erode the transparency of the glass and clarity of design as shown in the 3D sketch view. We suggest further details of these should be provided to demonstrate how this effect might be minimised.

Integrated solar panels are proposed on the lower part of the nave roof and within the roof of the extension. The use of an integrated panel system retains the plane of the roof slope. However, the nave roof panels would remain very visible and contrast with the traditional palette of materials and this would result in harm.

The supporting information responds to our earlier questions about whether a ground mounted array might be feasible.

Car parking spaces on a gravel surface are proposed along the length of the nave and tower to the north of the church, with an area of reinforced overflow parking between the chancel and boundary.

The hard surfacing and parking along much of the north of the church would detract from the green churchyard setting which contributes to the significance and appreciation of the church.

An air source heat pump is proposed to the south against the boundary hedge. The location against the boundary would help to reduce the impact of this. No details are provided of the enclosure which should also be designed to minimise any impacts.

Policy -

The National Planning Policy Framework requires local planning authorities to take account of the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation, paragraph 203. It continues that any harm or loss should be justified, and the harm weighed against the public benefits of the proposal, paragraphs 206 and 208.

Historic England's position -

Historic England is keen to see the church repaired and brought back into use and is supportive of the proposal to create a flexible building for worship and community use. While the new addition would alter the south elevation and result in some harm, the new space and facilities would help to support the future use of the building. In line with policy, efforts should be made to ensure harm is minimised. In view of this details of the glazed east west walls and upper screens should be provided together with other large scale details, either at this stage or under conditions.

The impact of the new hard standing to the north of the church might be reduced by omitting the parking bay adjacent to the tower.

We recommend details of the new parking surfaces and air source heat pump enclosure and are also provided under conditions.

The harm to significance should be weighed against the public benefits put forward in the application including those of securing the repair and reuse of the building and the aim to meet the 2030 Net Zero target.

Planning Committee
7 May 2024

Recommendation -

Historic England supports the repair and rebuilding of the church and the aim to create a flexible building to give it a more sustainable future. However, in relation to some of the detail of the work proposed, we consider that the issues and safeguards outlined in our advice need to be addressed in order for the application to meet the requirements of paragraphs 203 and 206 of the NPPF.

Conservation Officer: NO OBJECTION subject to conditions

St Mary's Church is a building with origins from the 12th century. A fine normal doorway in the south wall survives from this early phase of development. It was much 'restored' in the 1850's when the nave walls were raised and an apse was built. The building as it stands is a combination of early and Victorian material. The Victorian roof and much of the interior was lost in a fire in 2019 and has had no use since.

This scheme has been the result of pre-application discussions with the applicant and it should be noted that it is not the remit of the planning system to consider the internal layout and proposals for the inside of the building.

The proposal would result in a significant amount of alteration to the prominent south facing elevation of the church. In the pre-app discussions it was determined that the church could be seen in long range views and once the roof had been returned to the nave this visibility would be increased. An extension to the nave would result in the Norman doorway being obscured from public view, in particular from the trackway to the south, with which it has a historic relationship.

However, the visualisations produced by the applicant team have shown that glazed panels would be installed along the joins with the church building which would reveal the building and the Norman doorway to public viewing and create a glazed link between the old and the new parts of the building. The modern design of the extension would be offset by the traditional form of a lean to which would minimise the amount of glazing seen in the long views and instead, the roof would match that of the church roof creating a sense of continuity between both built elements. The design is therefore of high quality and of a good historic form which would, subject to details, be complimentary to the built form of the church building.

The proposed solar panels are able to be integrated into the roof of the church and the extension which would result in no visible upstand. This minimises the visual impact of the panels and, as the roof of the main church was damaged by fire and no longer exists, the installation of panels would not cause harm to any historic fabric. They should however be panels with a matt finish to avoid glinting as far as possible.

The car parking to the north side of the church remains a disappointing element of the scheme. Although it will be laid to reinforced grass, the presence of cars within this green space results in a change to the setting of the building. Pre-application discussions conceded that disabled bays outside of the church on the north elevation could be a possibility but the conservation team are still concerned that parking in the area in front of the church will need to be demarcated and controlled to prevent overspill onto surrounding green space which will result in further formalisation of the church setting.

No details of the proposed new footpath to the south have been submitted.

Overall however the scheme will result in a Grade II* listed building being restored and brought back into a community use. Although there is less than substantial harm caused to

Planning Committee
7 May 2024

the setting and form of the building this is low in scale and should be balanced accordingly against the public benefits of bringing this building back into use. We do not object to the principle of the scheme proposed.

Should you be minded to approve this application, please consider conditions to cover the following;

- Details of all new and replacement windows at a scale of 1:20
- Details of the glazed rooflights in the extension
- Details of and a sample panel to be provided of all external materials
- Details of the proposed new solar panels
- Details of the glazed screen of the extension and details of how this will be fixed to the walls of the church
- Details of all hard and soft landscaping including the car park and the new footpath
- Details of any new external lighting required
- Details of the new air source heat pump and its enclosure

Historic Environment Service: NO OBJECTION subject to conditions

The church of St Mary is a 12th century building with additions in the late 13th century and the mid-19th century. It is likely that this church replaced an earlier structure on the same site. As such, it is very probable that human burials and perhaps the remains of earlier church structures may be adversely affected by the proposed extension and associated works. In addition churches were normally founded within or adjacent to settlements and/or manorial/estate centres.

Consequently, there is potential that heritage assets with archaeological interest (buried archaeological remains) will be present at the site and that their significance will be adversely affected by the proposed development.

In addition as the building is a highly significant medieval building, the reconstruction may well alter and affect the original building and gives a good opportunity for it to be subjected to a programme of historic building recording before its restoration.

If planning permission is granted, we therefore ask that this be subject to a programme of archaeological mitigatory work secured via conditions.

In addition, if planning permission is granted, we ask that this also be subject to condition for a programme of historic building recording again secured via condition. In this instance the programme of historic building recording will comprise a photographic survey of the structures for which a brief is available from the Norfolk County Council Historic Environment Team, in addition to the required archaeological excavation on the footprint of the extension and archaeological monitoring of any other groundworks.

Highways Authority: OBJECTION

The Heritage Design and Access Statement suggests that the meeting area/activity room is to be utilised to accommodate a variety of uses, and there is mention that the kitchen is able to cater for large numbers and the building used by the wider community.

Having visited the site there is clearly a distinction of the formal historic trafficked area within the grounds by the presents of gravel which suggests to me that any parking on grassed areas that may have occurred would have been on more of an informal basis. We would have additionally expected to see some signs of rutted or compressed ground if been in

Planning Committee
7 May 2024

regular use and while it is accepted that the church has not been used for some time there was no strong evidence of this. Our concerns are regarding the additional on-site parking proposed. While we could accept the principle that parking provision for disabled people should be accommodated, we are concerned that the lane is narrow which creates conflict between cars and pedestrians and is without the ability for cars to pass. It is also very evident that visibility at the junction of the lane with Church Road is substandard in terms of its width, construction and has very poor levels of visibility.

There appears to be general support for to what is considered to be additional car parking in the grounds. My interpretation from that is there would be more vehicles on the site and therefore an intensification of the drive.

Unfortunately, without any significant evidence to the contrary that the driveway use would not increase we would recommend the application be refused. The applicant has not made adjustments to the parking areas as previously requested. The development would ultimately increase the availability and subsequent use of the access which is found to be of insufficient to allow two vehicles to pass and also has restricted visibility with the public highway, below that recommended by Manual for Streets (see photographs attached to e-mail dated 25 March 2024) and would lead to conditions to the detriment of highway safety.

CSNN: NO OBJECTIONS subject to conditions

CSNN have no objections to this proposal. Having considered all of the information, including objections, the development does not create a significant intensification of use.

The only recommendations are that a condition be applied requiring further details for the noise from the ASHP and enclosure and also that any new lighting will not cause an adverse impact to residents.

Arboricultural Officer: NO OBJECTIONS subject to conditions

No objection in principle. However, the avenue of lime trees, and other trees on and adjacent to the site could be easily damaged and should have been assessed by the applicant. They were advised at pre-app to carry out an arboricultural appraisal which would have highlighted the areas of concern prior to design work being done.

Because of the lack of information at this time, it's difficult to assess the potential risk of harm to the trees by the proposed work, and a pre-commencement tree protection condition is required to ensure minimal harm to the existing trees during reinstatement works, installation and use of new hardstanding, services, and reinforced grass areas.

Environmental Quality: NO OBJECTION subject to conditions

We have reviewed our files and the site is on land seen developed for the duration of our records. The surrounding landscape is largely residential and agricultural.

Due to the previous fire damage on site it is unclear if any contamination remains which could cause risks to future site users, with this in mind we recommend conditions are attached.

REPRESENTATIONS

FOUR OBJECTIONS have been received and **FORTY-ONE** letters of **SUPPORT**. These are summarised below -

Planning Committee
7 May 2024

Representations of Support-

- The church building needs new facilities such as the toilets, parking, and heating in order to move into the 21st century.
- The installation of solar PV panels would help to lower the running costs of the church and sustainable practises should be encouraged.
- The plans were informed by a questionnaire sent out to villagers on their thoughts and needs for the redevelopment of the church.
- The church as a community facility needs to be reinstated as soon as possible.
- Increase in new housing developments locally will mean that the church is going to be used more.

Objections to the scheme –

- It would be disgraceful to remove headstones and graves in order to facilitate parking, it could disrupt burial findings.
- The car park could negatively impact on the surrounding trees, and a tree protection plan should be ordered.
- Unclear how many cars will be parked on the proposed area and where the turning circle would be.
- The track up to the church is narrow and visibility splays are poor at the junction with the road. No passing places along the track and it is used by pedestrians too. This would cause conflict and congestion.
- Neighbour states that the current areas for parking are hardly used and cars have not previously used the area proposed for parking.
- There would be additional noise and disturbance from the increase in traffic along the track along with a loss of privacy for neighbours.
- The church should be kept as historical as possible, and the modern extension will not be in keeping and will be regretted in years to come.
- Air source heat pump is not adequate for heating a large building like the church.
- The solar panels are obtrusive on the setting of the church and the installation could damage the fabric of the church.
- Noise from the heat pump should be minimised with an acoustic enclosure.
- It would be irresponsible to renovate the church unsympathetically.
- The church was irregularly used for worship prior to the fire.
- Hours of operation should be limited, and the usage should be limited to worship and similar only.
- There is only space for 5-6 cars maximum next to the entrance. 15 cars cannot be accommodated.
- The village hall already has adequate parking provisions and facilities and is used by the people of Wimbotsham for events.

LDF CORE STRATEGY POLICIES

CS02 - The Settlement Hierarchy

CS06 - Development in Rural Areas

CS08 - Sustainable Development

CS11 - Transport

Planning Committee
7 May 2024

CS12 - Environmental Assets

CS13 - Community and Culture

SITE ALLOCATIONS AND DEVELOPMENT MANAGEMENT POLICIES PLAN 2016

DM2 – Development Boundaries

DM9 - Community Facilities

DM15 – Environment, Design and Amenity

DM17 - Parking Provision in New Development

NATIONAL GUIDANCE

National Planning Policy Framework (NPPF)

Planning Practice Guidance (PPG)

National Design Guide 2021

PLANNING CONSIDERATIONS

The main considerations are:

- Principle of Development
- Form and Character (Impact on Listed Building and Conservation Area)
- Highways/Access/Parking
- Neighbour Amenity
- Other Material Considerations

Principle of Development:

Wimbotsham is designated in the Core Strategy (2011) as a Rural Village and has a defined development boundary as set out in policy DM2 of the Site Allocations and Development Management Policies Plan (2016).

The church was used from the 12th century up to the fire in September 2019. Although the site sits outside the development boundary, it sits adjacent to that boundary and the proposed development would be reinstating a community building which has been in continual use for around 900 years.

Policy DM9 of the Site Allocations and Development Management Policies Plan states that *'The Council will encourage the retention of existing community facilities and the provision of new facilities.'*

The principle of development is considered acceptable given the use of the land is well established and is in accordance with policy DM9 and CS13 of the adopted Local Plan.

Form and Character – Impact on Listed Building and Conservation Area:

Historic England have made comments to the proposed development, as has the Conservation Officer neither of whom object to the proposal. Historic England are broadly supportive of the scheme subject to concerns raised about the harm caused by the integrated solar panels on the nave roof, the hard surfacing and parking along the north of

Planning Committee

7 May 2024

the churchyard, and further information is required regarding the nature of the proposed enclosure for the air source heat pumps, and the upper screens to the east and west glazing.

In policy terms, Historic England is keen to see the church repaired and brought back into use and is supportive of the proposal to create a flexible building for worship and community use. Details of the glazed east and west walls and upper screens could be provided together with other details via conditions. The impact of the new hard standing to the north of the church can be reduced by omitting the parking bay adjacent to the tower. Historic England also recommend details of the new parking surfaces and air source heat pump enclosure are provided under conditions. Historic England are of the view that the issues and safeguards outlined in their advice need to be addressed in order for the application to meet the requirements of paragraphs 203 and 206 of the NPPF.

The Conservation Officer comments are provided in full above. Their view is that the design is of a high quality and of a good historic form which would, subject to details, be complimentary to the built form of the church building. The proposed solar panels to be integrated into the roof of the church and the extension would result in no visible upstand, which minimises the visual impact of the panels providing these have a matt finish.

However, the Conservation officer is of the view that the car parking to the north side of the church is a disappointing element of the scheme. Although it will be laid to '*reinforced grass*', the presence of cars within this green space results in a change to the setting of the building. Pre-application discussions conceded that disabled bays outside of the church on the north elevation could be a possibility, but concerns remain that parking in the area in front of the church will need to be demarcated and controlled to prevent overspill onto surrounding green space which will result in further formalisation of the church setting.

Notwithstanding these concerns, the development will bring back into use an important Listed Building. While there is less than substantial harm caused to the setting and form of the building this is low in scale and should be balanced accordingly against the public benefits of bringing this building back into use. A number of conditions are proposed to secure the details of the building materials, lighting, the solar panels and air source heat pump.

Therefore, the rebuilding of the church building itself is very much welcomed. The proposed extension is deemed acceptable, subject to the inclusion of conditions to secure further information. Officers note broad support from Historic England but that the support is caveated with concerns regarding the solar panels on the nave roof. Historic England and the Conservation Office share concerns about the proposed parking area and the impact of this on the setting of the Listed Building. These aspects would result in less than substantial harm. Officers note the potential wider public benefit from the re use of the building and therefore on balance find under the NPPF (paragraph 208) and policy CS12, that the development is deemed to be acceptable in terms of the impact on the Listed Building, and Conservation Area.

Highways/ Access/ Parking:

The application will utilise the existing vehicular and pedestrian access via the shared driveway onto Church Road. Access via this driveway is shared with two private dwellings. The existing churchyard has a grassed area to the north of the church. The applicant states this area has historically been used as informal parking. The Planning Statement says that the areas of parking proposed do not result in the provision of any new parking facilities, i.e., beyond that which has been available historically. Further that the expansion of the parking is simply to facilitate three spaces for visitors with disabilities (paragraph 5.34). However,

Planning Committee
7 May 2024

elsewhere in the Statement inconsistency refers to dedicated DDA complaint spaces alongside “*increased off-road parking*” for the Church (paragraph 5.20). The resurfacing of the parking area will require the relocation of two headstones/ graves to accommodate this and these are shown on the proposed site plan.

Neighbours and the Local Highway Authority Officer dispute the extent of this existing/ historical use. The highways officer states *‘there is clearly a distinction of the formal historic trafficked area within the grounds by the presence of gravel which suggests any parking on grassed areas would have been on more of an informal basis. We would have additionally expected to see some signs of rutted or compressed ground if in regular use and while it is accepted that the church has not been used for some time there was no strong evidence of this.’* A neighbouring resident has said that there is only space for 5-6 cars maximum and that the area indicated for parking has rarely been used for such.

The Parish Council has requested additional car parking is provided in the grounds. However, the Highways officer view is that there would be more vehicles on the site and therefore an intensification of use of the access drive. The Highways officer would not be against the refurbishment of the church, but they consider that this should be without the use of the drive being intensified. Local objections reinforce these concerns, citing that an increased use would lead to congestion and a conflict of uses/ users. Significantly, the increased use of the driveway would mean an increased use of a substandard junction with poor visibility leading to conditions to the detriment of highway safety.

No details of the proposed new footpath to the south have been submitted as part of the application. If approved such details would be required by a suitably worded condition.

The scheme as proposed fails to accord with the NPPF, and policies CS08, CS11 and DM15 of the adopted Local Plan.

Neighbour Amenity:

The use of the site as a church and community facility is well-established; that use and intensity has evolved over time. The repair and extension proposed will maintain and diversify the use possibly increasing the numbers of people. However, this is not considered to be a substantial intensification.

CSNN were consulted on the application and have no objections to the scheme as proposed subject to conditions requiring further details on noise from the ASHP and enclosure, and also information to ensure that any new lighting would not cause an adverse impact to residents.

Neighbouring residents have objected to the parking area, raising concerns that increased use of the shared drive will lead to noise and disturbance and a loss of privacy and conflict. They claim the application has failed to sufficiently address these points.

To summarise, CSNN do not object to the development as proposed (subject to conditions); there is an established community use on the site, the proposals comply with the NPPF and policy DM15 of the Local Plan, and finally the application would not give rise to unacceptable neighbour amenity issues.

Other matters requiring consideration prior to the determination of this application:

Flood Risk - The application site lies within Flood Zone 1 of the Council’s Strategic Flood Risk Assessment and mapping and is therefore at the lowest risk of flooding.

Planning Committee
7 May 2024

Ecology – The applicant has submitted a Preliminary Ecological Appraisal. This report identifies that the building itself has bat roosting potential and there is evidence of use by bats. In addition, the site itself supports limited bat foraging/commuting. There was also evidence of hedgehogs, and breeding/ wintering birds within the site, and potentially amphibians at a pond approximately 80m away. As such further surveys are required for roosting bats, and a derogation licence from Natural England will be required in order to legally proceed with the works to the building.

Changes have been made to the Conservation of Habitats and Species Regulations 2017 (as amended). The changes are made by the Conservation of Habitats and Species (Amendment) (EU Exit) Regulations 2019. The 2017 Regulations are one of the pieces of domestic law that transposed the land and marine aspects of the Habitats Directive (Council Directive 92/43/EEC) and certain elements of the Wild Birds Directive (Directive 2009/147/EC) (known as the Nature Directives). Protected Species (PS) have full protection under the 2017 Regulations. It's an offence to deliberately capture, injure or kill, or deliberately disturb PS. These requirements are enforced in the 2017 Regulations and any derogation is regulated and overseen by a system of licensing administered by Natural England (NE).

In exercising its functions, including determining planning applications, a Local Planning Authority is required to have regard to the requirements of the Habitats Directive in so far as they may be affected by the exercise of those functions. It is not the role or responsibility of the LPA to monitor or enforce NE's obligations under the regulations. However, if a development proposal could potentially result in a breach of the Directive, the LPA is required to form a view on the likelihood of a licence being granted under the Regulations by NE in order to fulfil its own obligation to have regard to the Directive requirements.

NE will only grant a licence if satisfied that the three statutory tests prescribed under the directive and regulations have all been met. The tests are:

1. There are imperative reasons of overriding public interest (IROPI);
2. There are no satisfactory alternatives; and
3. It would not be detrimental to the maintenance of the population of the species at favourable conservation status

The obligation on the LPA is to consider the likelihood of a licence being granted by NE, not to determine definitively whether or not the licence will, in fact, be granted. It therefore has to review the three tests, in the context of a planning application, to then form a view on the likelihood of NE granting a derogation licence under the Regulations.

In this case, the initial survey work submitted concluded that the development will result in the loss of a confirmed bat roost area, and that if the development were to proceed there is the possibility of a breach of the Directive. Additional survey work is required between the months of May to September prior to commencement of development, and it is likely that an EPS license from Natural England will be required prior to commencing works on site.

LPA's consideration of the tests:

1. IROPI – NE's guidance advises that IROPI can potentially include developments that are required to meet or provide a contribution to meeting a specific need. In this case, the development seeks to restore a valuable historic asset and bring back into use a community building for the village.
2. No satisfactory alternatives – The repair of the Church and extension to this could not be moved elsewhere and it is therefore considered to be reasonable to conclude that there are no satisfactory alternatives.

Planning Committee
7 May 2024

3. Population maintenance – it appears unlikely that the conversion of this barn, subject to the appropriate mitigation measures, will affect the conservation status of the protected species.

The LPA can therefore reasonably form the view, from the information submitted to it for this planning application, that NE would be likely to grant a derogation license under the Regulations in relation to this development.

As a result, the additional survey work which will inform the appropriate mitigation measures and the EPS licence, in addition to the mitigation and enhancement measures outlined in the Ecology Assessment can be conditioned accordingly.

Planning Control Sifting Panel – The officer recommendation is contrary to the Parish Council comments and therefore in line with the Scheme of Delegation the application was referred to the Sifting Panel. The Sifting Panel considered that the application should be debated and determined at Planning Committee.

CONCLUSION:

The Church of St Mary, Wimbotsham is clearly a well-established building and use. The scheme seeks to repair an important heritage asset and bring this back into community use, which is well supported by residents and statutory consultees. The form and character of the design of the building and extensions is considered acceptable subject to conditions.

However, the application includes the formalisation of an area for dedicated parking. While there is some dispute as to the extent the proposed parking would result in an expansion to the parking area, it is clear that the development would result in some intensification of the use of the site. Of particular concern are the increase in vehicular movements utilising the existing access. The access is substandard in width, construction and visibility, and is shared with two neighbouring dwellings. The increased use would result in likely conflict and given the poor visibility at the junction on Church Road, will increase highway safety risks. As such the Local Highway Authority objects to the scheme in its current form and considers the development is contrary to the NPPF, and policies CS11 and DM15 of the adopted Local Plan.

This is a finely balanced application with planning merit in sustaining and diversifying a community facility and the services it provides. Further the listed building will be restored as a result of the proposals. Those positive elements are weighted against other material considerations such as local amenity and impact on the setting of the listed building. Most potentially negative elements can be mitigated by conditional control. However, the weight attributable to the adverse impacts on local highway safety are substantive. It is this weight that is persuasive and guides officers to a negative planning balance. Members are duly recommended to refuse the application for the reasons outlined above.

RECOMMENDATION:

REFUSE for the following reason:

- 1 The application includes the provision of a parking area onsite for users of the Church and will result in enhanced community meeting facilities. The expansion of parking facilities and increased use of the building would clearly result in the intensification of use of the existing access by vehicles. The access is unsatisfactory to serve the proposed development by reason of its inadequate width and substandard levels of

Planning Committee
7 May 2024

visibility splays at the junction of the access with the highway. This would cause danger and inconvenience to users of the adjoining public highway. The development is contrary to the NPPF, Core Strategy policy CS11 and Site Allocations and Development Management Policies Plan policy DM15.

7 May 2024

SECTION 106 UPDATE REPORT

Report of the Executive Director of Environment and Planning, pursuant to the Scheme of Delegation

Parish:	(A) STOKE FERRY (B) BURNHAM MARKET
Purpose of report:	SEEK AUTHORISATION FROM PLANNING COMMITTEE TO FINALISE AND COMPLETE S106 AGREEMENTS AND ISSUE DECISION NOTICES PERTAINING TO APPLICATIONS 22/00871/FM AND 23/00805/F
Location:	(A) LAND SOUTH OF LARK ROAD STOKE FERRY (22/00871/FM) (B) METHODIST CHURCH, STATION ROAD, BURNHAM MARKET (23/00805/F)
<p>Summary</p> <p>The purpose of the report is to seek authorisation from Planning Committee to finalise and complete S106 agreements pertaining to application ref 22/00871/FM and 23/00805/F on the following grounds:</p> <p>a) 22/00871/FM – agree that the legal agreement can be completed and issue the decision notice.</p> <p>b) 23/00805/F – agree a further 1 month from this committee resolution until 7th June 2024 to finalise the agreement and issue the decision. If the agreement is not completed by 7th June 2024, but reasonable progress has been made, delegated authority is granted to the Assistant Director/Planning Control Manger to continue negotiation and finalise the agreement and issue the decision. If in the opinion of the Assistant Director/Planning Control Manager no progress is made, the application is refused based on the failure to secure the dwelling as a Principal Residence.</p>	

1.0 INTRODUCTION

1.1 Historically, Planning Committee has given authorisation to negotiate S106 agreements and ensure their completion within 4 months of the date of the committee resolution. This is to ensure that planning permissions are issued expeditiously. However, from time-to-time issues arise with signing agreements which results in delay. An example of such an occurrence is when Banks/Building Societies are required to be a party or landowners live abroad etc.

- 1.2 At present, officers have no authority to negotiate past the 4-month period as committee resolutions direct that applications be refused permission in the event they are not completed within time. Given that applicants can appeal the decision, the failure to allow a further reasonable period of time (particularly when agreements are circulating) may give rise to costs awarded against the Council for unreasonable behaviour in accordance with the Planning Practice Guidance on Appeals. The ability to agree an extension of time on a case-by-case basis negates potential costs awards.
- 1.3 The following reports sets out the position on two Planning Applications 22/00871/FM and 23/00805/F where the aforementioned circumstances occur.

2.0 PLANNING APPLICATION 22/00871/FM

- 2.1 Application ref 22/00871/FM for a proposed residential development of 13 dwellings at land south of 2 And 3 Lark Road, Stoke Ferry was considered by Planning Committee on 16th November 2023. Members resolved to approve the application subject to the satisfactory completion of a S106 Agreement to secure affordable housing within 4 months of the date of the committee resolution. The agreement was therefore required to be completed by 16th March 2024.
- 2.2 After initial delay with Solicitors on the landowner's side, the finalised legal agreement is now with our Legal Services Team. Officers do not have authority to instruct completion of the agreement but given the circumstances, it is recommended that Members authorise the completion of the agreement and issue the decision notice.

3.0 PLANNING APPLICATION 23/00805/F

- 3.1 Application ref 23/00805/F for the conversion of a chapel to form a dwelling at the Methodist Church Station Road, Burnham Market Norfolk PE31 8HA was considered by Planning Committee on 4th December 2023. Members resolved to approve the application subject to a S106 agreement to secure the new dwelling as a Principal Residence within 4 months of the date of the committee resolution. The agreement was therefore required to be completed by 4th April 2024.
- 3.2 Since this date, limited progress was initially made with the Applicant's legal position as the Trustees for the Church are located in Manchester and there were delays in getting a response and approval. However, the Applicants are now progressing towards completion of the legal agreement with engrossments circulating. As a result, it is recommended that Members authorise a further period of 1 month until 7th June to allow finalisation of the legal agreement.

4.0 NEGOTIATING FUTRE S106 AGREEMENTS

- 4.1 Members are aware of the current Government consultation on an “Accelerated Planning System” which includes limiting the use of extensions of time and ensuring that more decisions are issued within the statutory 8,13 and 16 week time limits. This will have a significant impact on processing planning applications and associated negotiation on S106 agreements. Officers will therefore be process-mapping applications to ensure that S106 agreements are signed by the time applications are determined under delegated authority or by Planning Committee going forward.

5.0 RECOMMENDATION

- 5.1 Given the specific circumstances advanced above, it is recommended that Members **Grant authority to continue to negotiate and complete S106 agreements and issue the decision notices** attached to the relevant planning applications on the following grounds:

1. 22/00871/FM – agree that the legal agreement can be completed and issue the decision notice.
2. 23/00805/F – agree a further 1-month extension from this committee resolution until 7th June 2024 to finalise the agreement and issue the decision. If the agreement is not completed by 7th June 2024, but reasonable progress has been made, delegated authority is granted to the Assistant Director/Planning Control Manger to continue negotiation and finalise the agreement and issue the decision. If in the opinion of the Assistant Director/Planning Control Manager no progress is made, the application is refused based on the failure to secure the dwelling as a Principal Residence.

PLANNING COMMITTEE – 7 MAY 2024

QUALITY OF DECISIONS

This measure calculates the percentage of the total number of decisions made by the Authority on applications that are then overturned at Appeal.

The Assessment period for this measure is the two years up to and including the most recent quarter plus 9 months. Therefore, the performance for Q1 (end of March) is calculated as follows:

Planning applications determined between 01/07/2021 to 30/06/2023 plus 9 months = 31/03/2024

The threshold for designation for both Major and Non-Major is **10%** - this is the figure that should not be exceeded, otherwise there is a risk of the Authority being designated by DLUHC.

Performance at 31 March 2024

MAJOR			NON-MAJOR		
No. of Decisions Issued	No. Allowed on Appeal	% Overturned	No. of Decisions Issued	No. Allowed on Appeal	% Overturned
84	5	5.95%	3096	19	0.61%

PLANNING COMMITTEE – 7 MAY 2024

APPLICATIONS DETERMINED UNDER DELEGATED POWERS

PURPOSE OF REPORT

- (1) To inform Members of the number of decisions issued between the production of the April Planning Committee Agenda and the May agenda. 126 decisions issued 111 decisions issued under delegated powers with 8 decided by the Planning Committee.
- (2) To inform Members of those applications which have been determined under the officer delegation scheme since your last meeting. These decisions are made in accordance with the Authority's powers contained in the Town and Country Planning Act 1990 and have no financial implications.
- (3) This report does not include the following applications – Prior Notifications, Discharge of Conditions, Pre Applications, County Matters, TPO and Works to Trees in a Conservation Area
- (4) Majors are assessed against a national target of 60% determined in time. Failure to meet this target could result in the application being dealt with by Pins who will also receive any associated planning fee.

RECOMMENDATION

That the reports be noted.

Number of Decisions issued between 21st March 2024 – 19th April 2024

	Total	Approved	Refused	Under 8 weeks	Under 13 weeks	Performance %	National Target	Planning Committee decision	
								Approved	Refused
Major	2	1	1		2	100%	60%	0	0
Minor	54	47	7	52		96%	80%	5	1
Other	70	63	7	64		92%	80%	2	0
Total	126	111	15						

Planning Committee made 8 of the 126 decisions, 6%

PLANNING COMMITTEE - 7 MAY 2024

APPLICATIONS DETERMINED UNDER DELEGATED POWERS

PURPOSE OF REPORT

To inform Members of those applications which have been determined under the officer delegation scheme since your last meeting. These decisions are made in accordance with the Authority's powers contained in the Town and Country Planning Act 1990 and have no financial implications.

RECOMMENDATION

That the report be noted.

DETAILS OF DECISIONS

DATE RECEIVED	DATE DETERMINED/ DECISION	REF NUMBER	APPLICANT PROPOSED DEV	PARISH/AREA
----------------------	----------------------------------	-------------------	-------------------------------	--------------------

16.10.2023	21.03.2024 Application Permitted	23/01834/F	Heath Farmhouse Lynn Road Great Bircham KINGS LYNN Change of use of barns and associated land to deliver 8 units of Use Class B8 (Storage and Distribution) - no operational development is proposed	Bircham
14.02.2024	02.04.2024 Prior Approval - Approved	24/00276/PACU3	Agricultural Building Docking Road Bircham Newton Norfolk Notification for Prior Approval: Change of Use of Agricultural Building to 5 Dwellinghouse (Schedule 2, Part 3, Class Q)	Bircham

03.01.2024	18.04.2024 Application Permitted	24/00010/F	Lynwood House Main Road Brancaster Staithe King's Lynn Removal of condition number 1 and variation of conditions 3 and 6 attached to planning permission 20/00819/F: REMOVAL OR VARIATION OF CONDITION 6 OF PLANNING PERMISSION 14/01681/F: Revised design to planning permission 09/01846/F: To allow for the erection of one dwelling only in the grounds of plots 2 and 3 and increase garden land to plot 1.	Brancaster
09.02.2024	28.03.2024 Application Permitted	24/00232/F	Stranraer 17 Town Lane Brancaster Staithe King's Lynn Side extension, with new roof finishes, new external cladding and new timber windows	Brancaster
13.02.2024	12.04.2024 Application Permitted	24/00257/F	Barrowdale Orchard Close Brancaster Staithe King's Lynn Proposed cart shed and store.	Brancaster
21.02.2024	16.04.2024 Application Permitted	24/00325/F	Keepers Lodge Dalegate Road Brancaster KINGS LYNN Proposed oak framed rear extension	Brancaster

07.11.2023	10.04.2024 Application Permitted	23/01999/F	Fisher & Sons North Street Burnham Market Norfolk Variation of condition number 2 attached to planning permission 16/01797/F: Renovation of existing building to provide one shop with flat above and one new dwelling. Demolition of workshop to rear of site. Addition of four new dwellings.	Burnham Market
17.01.2024	28.03.2024 Application Permitted	24/00087/F	Rose And Holly Station Road Burnham Market King's Lynn Proposed rear extension and associated internal alterations	Burnham Market
01.02.2024	25.03.2024 Application Refused	24/00183/F	Flint Cottage 24 Beacon Hill Road Burnham Market King's Lynn Retrospective application for replacement fence	Burnham Market
02.02.2024	22.03.2024 Application Permitted	24/00178/F	The White House Sussex Farm Lane Burnham Market KINGS LYNN Extension of the Hotel to construct a single storey business studio and linen store, including landscaping and associated works.	Burnham Market
13.02.2024	03.04.2024 Application Permitted	24/00258/LB	No.TWENTY 9 29 Market Place Burnham Market KINGS LYNN Listed building application for approval of painted mural to the North elevation (rear) of No. Twenty9 Bar and Restaurant.	Burnham Market

05.03.2024	28.03.2024 DM Prior Notification NOT Required	24/00410/DM	Burnham Farms Office Burnham Farms Docking Road Burnham Market Prior Notification: Demolition of barn building.	Burnham Market
31.01.2024	05.04.2024 Application Permitted	24/00174/F	Wardens Hut Scolt Head Island Main Road Brancaster Staithe Refurbishment of the existing staff accommodation including: replacement of the timber cladding, extension of the roof mounted PV panels and installation of new solar thermal roof mounted panels, replacement external doors, installation of metal roller shutters.	Burnham Norton
11.12.2023	26.03.2024 Application Permitted	23/02203/F	Staithe House Wells Road Burnham Overy Staithe KINGS LYNN VARIATION OF CONDITION 11 OF PLANNING CONSENT 23/00139/F : Demolition of the existing house and rear annex and replace them with a new more appropriate, traditionally designed house with a subservient outbuilding	Burnham Overy

09.02.2024	26.03.2024 Application Permitted	24/00250/F	Victoria Cottage Gong Lane Burnham Overy Staithe King's Lynn Variation of condition number 2 attached to planning permission 23/00011/F: Single storey rear extensions incorporating internal alterations.	Burnham Overy
22.02.2024	15.04.2024 Application Permitted	24/00333/F	16 St James Green Castle Acre King's Lynn Norfolk Proposed oak frame rear extension & internal alterations	Castle Acre
22.02.2024	12.04.2024 Application Permitted	24/00334/LB	16 St James Green Castle Acre King's Lynn Norfolk Listed building application for proposed oak frame rear extension & internal alterations	Castle Acre
02.02.2024	26.03.2024 Application Permitted	24/00185/F	Flintstones Lynn Road Castle Rising King's Lynn VARIATION OF CONDITION 2 OF PLANNING CONSENT 22/02256/F: Demolition of existing house and construction of 2 pairs of semi-detached cottages.	Castle Rising
19.09.2023	05.04.2024 Application Permitted	23/01709/CU	43 Beverley Way Clenchwarton King's Lynn Norfolk Change of use of land/buildings for the storage of vehicles incidental to use of the adjacent residential property(non-commercial hobby use)proposal	Clenchwarton

12.04.2023	22.03.2024 Application Permitted	23/00679/F	DERSINGHAM VILLAGE CENTRE 83 Manor Road Dersingham KINGS LYNN To replace an existing, single pane, window with a wooden framed window with opening upper casement.	Dersingham
24.01.2024	12.04.2024 Application Permitted	24/00120/F	St Cecilia's Church Mountbatten Road Dersingham King's Lynn Install ground mounted solar panels.	Dersingham
16.02.2024	10.04.2024 Application Permitted	24/00282/F	6 Woodside Close Dersingham King's Lynn Norfolk New Front Porch. Render Property. Replacement rear canopy.	Dersingham
16.02.2024	11.04.2024 Application Permitted	24/00283/F	Bobtales 8 Woodside Close Dersingham King's Lynn New Porch & New Rear Extension	Dersingham
22.12.2023	18.04.2024 Application Refused	23/02297/F	Marsuki Stanhoe Road Docking King's Lynn Construction of 1 No. New Dwelling (Amended design)	Docking
09.02.2024	25.03.2024 Application Permitted	24/00225/F	16 Carr Terrace Docking King's Lynn Norfolk Single storey extension and alterations to dwelling	Docking
09.02.2024	15.04.2024 Application Permitted	24/00234/F	1 Granary Court Docking KINGS LYNN Norfolk Brick and flint boundary wall.	Docking
20.02.2024	11.04.2024 Application Permitted	24/00293/F	2 Grange Cottages Sandy Lane Docking King's Lynn Single Storey Rear Extension to Dwelling House	Docking

27.11.2023	26.03.2024 Application Refused	23/02102/F	15 Railway Road Downham Market Norfolk PE38 9DX PROPOSED SIDE EXTENSION FOLLOWING DEMOLITION OF SIDE PORCH (CURRENTLY USED AS UTILITY) AT 15 RAILWAY ROAD, DOWNHAM MARKET, PE38 9DX	Downham Market
26.01.2024	15.04.2024 Application Permitted	24/00145/RM	Site Between 19 And 21 Park Lane Downham Market Norfolk Reserved Matters: Construction of 2 dwellings	Downham Market
19.02.2024	10.04.2024 Application Permitted	24/00297/CU	Pro Lifting Uk Ltd Sovereign Way Trafalgar Industrial Estate Downham Market Change of use from used car sales (Sui Generis) to Class E (commercial, Business & Service)	Downham Market
15.03.2024	18.04.2024 GPD HH extn - Not Required	24/00474/PAGPD	22 Felbrigg Road Downham Market Norfolk PE38 9NX Single storey rear extension which extends beyond the rear wall by 4.3m with a maximum height of 2.3m and a height of 2.6m to the eaves.	Downham Market
20.11.2023	26.03.2024 Application Permitted	23/02100/F	Rudham House Broomsthorpe Road East Rudham KINGS LYNN Change of use of the land adjacent to the stables at Rudham House, for the installation of 1 x Omnipod to provide accessible tourist accommodation for disabled adults.	East Rudham

14.03.2023	16.04.2024 Application Permitted	23/00474/F	Summerend Farm Buildings Narford Lane East Walton KINGS LYNN Conversion of barns 2 and 3 of Summerend Farm barn range. This requires the demolition of modern interventions, with some replacement structure to allow for the sensitive conversion of the agricultural buildings to residential use.	East Walton
13.02.2024	04.04.2024 Application Permitted	24/00259/F	14 Long Lane Feltwell Thetford Norfolk VARIATION OF CONDITION 3, 4, 5, 7, 8 AND 9 OF PLANNING CONSENT 23/02050/F : Alterations to raise roof of existing garage and convert part into a non self-contained annexe	Feltwell
26.03.2024	10.04.2024 AG Prior Notification NOT REQD	24/00565/AG	Land Off Fire Route 46 Feltwell Norfolk Agricultural Prior Notification: Proposed turning area.	Feltwell

13.12.2023	03.04.2024 Application Permitted	23/02227/LB	The Rectory 27 Weasenham Road Great Massingham King's Lynn VARIATION OF CONDITIONS 2 AND 8 OF PLANNING PERMISSION 20/01134/LB: Listed Building Application: Renovation of ancillary accommodation to provide residential annexe, renovation of outbuildings for storage, demolition of potting shed and construction of new orangery to main dwelling, new gates to access, remedial works to dwelling including replacement ridge tiles, chimney caps, patio doors and repair/repaint render as necessary	Great Massingham
13.12.2023	26.03.2024 Application Permitted	23/02228/F	The Rectory 27 Weasenham Road Great Massingham King's Lynn VARIATION OF CONDITION 2 OF PLANNING CONSENT 20/01133/F: Renovation of ancillary accommodation to provide residential annex, renovation of outbuildings for storage, demolition of potting shed and construction of new orangery to main dwelling, new gates to access, remedial works to dwelling including replacement ridge tiles, chimney caps, patio doors and repair/repaint render as necessary	Great Massingham

05.07.2023	28.03.2024 Not Lawful	23/01377/LDE	Land E of Field Lodge Back Lane Pott Row Norfolk Lawful Development Certificate: Establishment of a manege, use of land for the keeping of horses and various stabling and storage buildings	Grimston
30.01.2024	26.03.2024 Not Lawful	24/00164/LDE	Middle Farm 15 Chequers Road Pott Row King's Lynn APPLICATION FOR LAWFUL DEVELOPMENT CERTIFICATE FOR ; Separation of the "Annex" of No. 15 to No.15a as an independent dwelling unit creating two separate dwellings.	Grimston
14.12.2023	22.03.2024 Application Permitted	23/02234/F	34A Hunstanton Road The Green Heacham Norfolk VARIATION OF CONDITION 2 OF PLANNING PERMISSION 20/01998/F: Change of use from a place of worship to a dwelling, alterations to provide a 3 bedroom dwelling	Heacham
10.01.2024	15.03.2024 Application Permitted	24/00067/LB	34A Hunstanton Road The Green Heacham Norfolk VARIATION OF CONDITION 2 OF PLANNING PERMISSION 20/01999/LB: Change of use from a place of worship to a dwelling, alterations to provide a 3 bedroom dwelling	Heacham

22.01.2024	04.04.2024 Application Refused	24/00110/F	53 South Beach Heacham King's Lynn Norfolk Proposed first floor extension and raised terrace area.	Heacham
30.01.2024	16.04.2024 Application Permitted	24/00163/F	Meadows Caravan Park Lamsey Lane Heacham King's Lynn VARIATION OF CONDITION 1, 2, 3, 5, 6, 8 and 9 OF PLANNING CONSENT 21/01877/FM : Proposed extension to an existing established static caravan site.	Heacham
19.02.2024	11.04.2024 Application Permitted	24/00292/F	27 Cheney Hill Heacham King's Lynn Norfolk VARIATION OF CONDITION 2 OF PLANNING APPLICATION 23/00489/F -Proposed garage	Heacham
08.12.2023	21.03.2024 Application Permitted	23/02230/F	Acorn Cottage Lawrences Lane Hilgay DOWNHAM MARKET VARITATION OF CONDITION 1 OF PLANNING APPLICATION 19/02091/RM -Reserved matters application for proposed new two storey, three bedroom dwelling	Hilgay
21.03.2024	08.04.2024 Application Permitted	23/00247/NMA_1	The Laurels Hubbards Drove Hilgay Downham Market NON-MATERIAL AMENDMENT TO PLANNING PERMISSION 23/00247/F: Construction of one dwelling and garage	Hilgay
15.12.2023	03.04.2024 Application Permitted	23/02242/F	Land West of 30 Station Road Hillington King's Lynn Norfolk New Dwelling (redesign from previous Approved Applications 20/00175/F and 22/02096/F)	Hillington

16.02.2024	08.04.2024 Application Permitted	24/00284/F	30 Mill Lane Hockwold cum Wilton Thetford Norfolk Single storey rear extension to bungalow	Hockwold cum Wilton
20.02.2024	10.04.2024 Application Permitted	24/00308/F	Gainsborough House 42 South Street Hockwold cum Wilton Thetford Construction of new front boundary wall, following demolition of existing wall	Hockwold cum Wilton
20.02.2024	09.04.2024 Application Permitted	24/00309/LB	Gainsborough House 42 South Street Hockwold cum Wilton Thetford Application for listed building consent for the construction of new front boundary wall, following demolition of existing wall	Hockwold cum Wilton
07.11.2023	28.03.2024 Application Permitted	23/01990/FM	The White Horse 40 Kirkgate Holme next The Sea Hunstanton Reposition the existing vehicular access into the site. Landscaping & tree works to extend the existing car park. Insert pedestrian gate in a roadside boundary wall. Change the colour wash of the the pub walls from Blue to White.	Holme next the Sea

07.11.2023	03.04.2024 Application Permitted	23/01991/LB	The White Horse 40 Kirkgate Holme next The Sea Hunstanton Listed Building Application: Reposition the existing vehicular access into the site. Landscaping & tree works to extend the existing car park. Insert pedestrian gate in a roadside boundary wall. Change the colour wash of the the pub walls from Blue to White.	Holme next the Sea
08.01.2024	12.04.2024 Application Permitted	24/00031/F	The Squirrels 24 Eastgate Holme next The Sea Hunstanton Extension, Internal Alterations, Refurbishment and Erection of Car Port	Holme next the Sea
17.11.2023	09.04.2024 Would be Lawful	23/02089/LDP	RSPCA 20 Greevegate Hunstanton Norfolk LAWFUL DEVELOPMENT CERTIFICATE APPLICATION FOR A PROPOSED; Seeking to install solar panels to the rear elevation of the property.	Hunstanton
05.01.2024	21.03.2024 Application Permitted	05/01381/NMA_1	5 South Beach Road Hunstanton Norfolk PE36 5BA NON MATERIAL AMENDMENT TO APPLICATION 05/01381/F: Construction of 5 holiday chalets and swimming pool.	Hunstanton

16.01.2024	08.04.2024 Application Permitted	24/00082/F	19 York Avenue Hunstanton Norfolk PE36 6BU Proposed single story rear extension and alterations to provide enlarged and reconfigured kitchen layout. Proposed loft conversion incorporating front dormer.	Hunstanton
19.01.2024	26.03.2024 Application Permitted	24/00097/F	5 Lighthouse Lane Hunstanton Norfolk PE36 6EN Proposed extension and loft conversion	Hunstanton
12.02.2024	15.04.2024 Application Permitted	24/00231/F	Land Off King's Lynn Road Hunstanton Norfolk VARIATION OF CONDITION 15 OF PLANNING PERMISSION 22/00929/FM: Development of 61 housing with care apartments, 39 care ready bungalows and 60 residential dwellings together with community facilities and services and associated landscaping, highway works and associated infrastructure	Hunstanton
19.02.2024	03.04.2024 Application Permitted	24/00296/F	17 York Avenue Hunstanton Norfolk PE36 6BU Single storey rear extension to dwelling	Hunstanton
22.12.2023	09.04.2024 Application Permitted	23/02309/F	Lavengro The Drift Ingoldisthorpe King's Lynn Single storey extension following demolition of existing garage and addition of new porch.	Ingoldisthorpe

13.02.2024	09.04.2024 Application Refused	24/00255/F	Morzine Ingoldsby Avenue Ingoldisthorpe King's Lynn The use of an existing annexe extension as a separate dwellinghouse	Ingoldisthorpe
03.04.2024	03.04.2024 Application Permitted	23/02016/NMA_1	1 Davy Field Hill Road Ingoldisthorpe KINGS LYNN NON-MATERIAL AMENDMENT TO PLANNING PERMISSION 23/02016/F: Proposed Reading Room Extension	Ingoldisthorpe
09.05.2023	21.03.2024 Application Permitted	23/00807/CU	57 Tennyson Avenue King's Lynn Norfolk PE30 2QG Change of use of a dwelling to a House of Multiple Occupation (sui generis) with 7 rooms	King's Lynn
06.11.2023	27.03.2024 Application Permitted	23/01986/A	QD Stores 128 - 132 Norfolk Street King's Lynn Norfolk Retrospective: To replace a lightbox sign old for new and additional red fascia section below.to refresh the fascia along 3 sections and replace old branded logo with new along with web address along the fascade of the old weathered site	King's Lynn
28.11.2023	09.04.2024 Application Permitted	23/02126/LB	Seacroft Mobility 50 High Street King's Lynn Norfolk Conversion of upper floors to form 4no new dwellings	King's Lynn

05.12.2023	18.04.2024 Application Permitted	23/02164/F	Service Station 1 - 5 Lynn Road Gaywood King's Lynn Demolition of existing car wash, provision of a 'Food to Go' pod, provision an EVC hub with canopy, 2 jet wash bays, a bin store and associated works	King's Lynn
18.12.2023	15.04.2024 Application Permitted	23/02257/LB	Court House College Lane King's Lynn Norfolk Replacement of lead capping to gable end parapet walls and replacement of rainwater gutters and downpipes.	King's Lynn
05.01.2024	18.04.2024 Application Permitted	24/00023/F	Demolition Site 102 - 103 London Road King's Lynn Norfolk Demolition of existing derelict shop (part retrospective) and erection of 2 No. dwellings.	King's Lynn
05.01.2024	27.03.2024 Application Permitted	24/00025/A	Geoffrey Collings And Co 17 Blackfriars Street King's Lynn Norfolk 1. 4 No. Shape Cut and digitally printed on Foamex or Dibond, 2. 2 No. shape cut Acrylic Letters on stand off fittings, 3. 8 No. ContraVision 1 Way Printed Window Vinyl, including door	King's Lynn
12.01.2024	26.03.2024 Application Refused	24/00070/O	13 River Walk West Lynn King's Lynn Norfolk Outline application with some matters reserved for demolition of garaging and proposed chalet style bungalow/dwelling	King's Lynn

24.01.2024	15.04.2024 Application Permitted	24/00128/F	North Lynn Farm Estuary Road King's Lynn Norfolk Demolition of existing dilapidated greenhouse that has been previously clad with fiber cement corrugated cladding with replacement steel frame barn with existing storage use continued	King's Lynn
26.01.2024	26.03.2024 Would be Lawful	24/00142/LDP	Site Within The Port of King's Lynn Land At Corner of Estuary Road And Edward Benefer Way King's Lynn Application for a Lawful Development Certificate proposing to construct and operate an import, handling and distribution facility for animal feed, industrial and food grade salt within the Port of King's Lynn.	King's Lynn
09.02.2024	02.04.2024 Application Permitted	24/00235/F	22 Reffley Lane King's Lynn Norfolk PE30 3EE Replacement of flat roof above garage and porch with pitched roof to match existing roof of utility	King's Lynn
14.02.2024	05.04.2024 Application Permitted	24/00267/LB	The Crown & Mitre Ferry Street King's Lynn Norfolk Internal alterations to subdivide and line existing ground floor dining space	King's Lynn

20.02.2024	09.04.2024 Application Permitted	24/00307/LB	3 Kings Staithe Square King's Lynn Norfolk PE30 1JE Listed building application for the installation of 3 rooflights to workshop over garage within curtilage of listed building	King's Lynn
23.02.2024	12.04.2024 Application Permitted	24/00346/F	33 Grafton Road King's Lynn Norfolk PE30 3HA Proposed Rear Extension to Replace Existing Conservatory	King's Lynn
28.11.2023	15.04.2024 Application Permitted	23/02181/F	Land N of Electrical Sub Station And NW of Red Roofs Station Road Little Massingham Norfolk Change of use of land from agricultural to grazing and living for 6 donkeys, 2 shetland ponies, including stables, haystore, portable w.c, tackshed. All standing on soil base, made of wood and plastic	Little Massingham
14.02.2024	10.04.2024 Application Permitted	24/00265/F	Mill Cottage 1 Mill Lane Marham KINGS LYNN Existing conservatory to be demolished and replaced with proposed lean to extension forming new Kitchen.	Marham
15.08.2023	19.04.2024 Application Permitted	23/01503/F	Westfields School Road Marshland St James Norfolk Conversion of an existing agricultural building into a unit with Class E & B8 use	Marshland St James

29.08.2023	12.04.2024 Application Permitted	23/01578/F	Station House Middle Drove Marshland St James Wisbech Demolition of existing 2 storey dwelling, and replacement with modern dwelling.	Marshland St James
15.12.2023	11.04.2024 Application Permitted	23/02250/F	Blue Firs 65 Smeeth Road Marshland St James Wisbech Retrospective: Retention of Existing Boundary Treatment.	Marshland St James
22.01.2024	16.04.2024 Application Permitted	24/00115/F	Cobwebs Setch Road Blackborough End King's Lynn Proposed installation of solar panels to rear elevation (south elevation)	Middleton
02.02.2024	08.04.2024 Application Permitted	24/00180/F	Land E of Bailhill Birchfield Road Nordelph Norfolk Construction of storage building for use in connection with adjacent dwelling, for storage of vintage machinery and bygones as hobby/pastime.	Nordelph
09.02.2024	05.04.2024 Application Permitted	24/00236/F	Newlands 23 The Green North Runcton King's Lynn Erection of single-storey rear extension, front porch, and roof replacement (with raised pitch), installation of front dormer windows / rooflight(s), rendering external walls, and replacing external windows / doors.	North Runcton

27.11.2023	21.03.2024 Application Permitted	23/02147/F	18 Hugh Close North Wootton King's Lynn Norfolk Proposed alterations and extension to detached dwelling, including widening of the driveway to provide additional parking	North Wootton
08.01.2024	02.04.2024 Application Permitted	24/00037/F	2 Beckett Close North Wootton King's Lynn Norfolk Extension to the front of the dwelling and minor alterations	North Wootton
01.03.2024	18.04.2024 Application Permitted	24/00386/F	2 Bungalow Nursery Lane North Wootton KINGS LYNN Rear extension to dwelling	North Wootton
28.03.2024	10.04.2024 AG Prior Notification NOT REQD	24/00606/AG	The Barns 101 Methwold Road Whittington Thetford Agricultural Prior Notification: Extension to Cattle Building	Northwold
03.07.2023	26.03.2024 Application Permitted	23/01176/F	3 Mariners Court Golf Course Road Old Hunstanton Hunstanton Proposed cat slide dormer with second floor balcony and retaining wall to rear garden to create one level amenity space.	Old Hunstanton
15.02.2024	04.04.2024 Application Permitted	24/00272/F	4A Wodehouse Road Old Hunstanton Hunstanton Norfolk Revised scheme for planning permission 21/00616/F for a 2-storey extension to the side and rear of the property.	Old Hunstanton

17.05.2023	27.03.2024 Application Refused	23/01067/FM	Land S of 14 And SE of 18 Cottons Head Outwell Norfolk Retrospective Change of Use to enable standing of 9 static caravans and 9 touring caravans and their residential use . Ancillary works of refurbishment and development of hardstanding, establishment and refurbishment of fences, including works to accesses .	Outwell
20.12.2023	28.03.2024 Application Withdrawn	23/02270/RM	Land W of Woodhall Robbs Chase Outwell Norfolk RESERVED MATTERS APPLICATION: Approval of the appearance, landscaping, layout and scale of the dwelling	Outwell
14.02.2024	22.03.2024 Prior Approval - Approved	24/00266/PACU3	Land NE of Bramlea Angle Road Outwell Norfolk Proposed conversion of barn to a single residential unit (Schedule 2, Part 3, Class Q)	Outwell
21.02.2024	11.04.2024 Application Permitted	24/00310/F	Land N of Fairview Angle Road Outwell Norfolk Variation of conditions 2 and 3 attached to planning permission 23/01219/F: Erection of a dwelling.	Outwell
06.03.2024	16.04.2024 Application Permitted	24/00459/CU	Fen Vista Isle Road Outwell Wisbech Conversion of existing office building within the garden, to residential use	Outwell

09.08.2023	26.03.2024 Application Permitted	23/01472/F	64 Pentney Lakes Common Road Pentney Norfolk VARIATION OF CONDITION 8 OF PERMISSION 15/02068/CU for Plot 64 ONLY: Change of use of land to accommodate 31 holiday lodges, change of use of the existing office accommodation to a restaurant/reception	Pentney
21.12.2023	10.04.2024 Application Permitted	23/02289/F	Pentney Abbey Abbey Road Pentney King's Lynn 2 x showers, 1 x changing room and 3 x toilets to facilitate camping site	Pentney
16.01.2024	18.04.2024 Application Refused	24/00074/LDP	48 Pentney Lakes Common Road Pentney King's Lynn Lawful Development Certificate: In 2009 the property was listed as holiday let and 11 month occupancy. The property will be used as residential full time and no longer a holiday let. The newer ones currently being built are fully residential and have no occupancy clauses on.	Pentney
27.02.2024	15.04.2024 Application Permitted	24/00357/F	5 Burnham Road Ringstead Hunstanton Norfolk Demolition of existing rear conservatory and construction of new rear flat roofed sun room with lanterns.	Ringstead

22.01.2024	16.04.2024 Application Permitted	24/00162/F	Thorpland House Downham Road Runcton Holme King's Lynn Variation of condition 2 attached to planning permission 19/00840/F: Conversion and extension of barn to residential dwelling with carport/store.	Runcton Holme
24.01.2024	15.04.2024 Application Permitted	24/00133/F	Land S of 32 And N of Spring View 32 Common Road Snettisham King's Lynn Variation/Removal of Conditions 2, 3, 4, and 9 of Planning Permission 22/02058/CU: Use of land for storage of timber, timber splitting, repair and storage of personal vehicles.	Snettisham
01.02.2024	26.03.2024 Application Permitted	24/00208/F	Williams 21D Manor Lane Snettisham KINGS LYNN Loft conversion to provide extra bedroom with en-suite, enclosed porch replacing open porch, new boundary wall replacing overgrown conifer hedge.	Snettisham
27.02.2024	16.04.2024 Application Permitted	24/00360/F	9 Blossom End Snettisham King's Lynn Norfolk Proposed porch and rear extension including internal and external alterations	Snettisham
01.02.2024	19.04.2024 Application Refused	24/00175/F	The Elms The Common South Creeke Fakenham Change of land use to allow limited tourism between March and October and location of 6 touring caravans.	South Creeke

22.02.2024	12.04.2024 Application Permitted	24/00335/F	14 Winston Drive South Creake Fakenham Norfolk Proposed Flat Roof Rear Extension	South Creake
05.03.2024	26.03.2024 Application Permitted	22/02148/NMA_1	Riverside Cottage 14 Fakenham Road South Creake Fakenham NON-MATERIAL AMENDMENT TO PLANNING PERMISSION 22/02148/F: Single storey rear extension (replacing existing garden room)	South Creake
17.11.2023	21.03.2024 Application Permitted	23/02055/F	The Birches House 65 Castle Rising Road South Wootton King's Lynn Proposed new residential dwelling with a new vehicular access	South Wootton
22.01.2024	05.04.2024 Application Permitted	24/00109/F	Little Owlswick 14 Church Lane South Wootton King's Lynn Extension and alterations to dwelling	South Wootton
15.03.2024	09.04.2024 Consent Required	24/00494/SU	Sandy Lane South Wootton Norfolk The Electronic Communications Code (Conditions and restrictions) (Amendment) Regulations 2017 Regulation 5: Install 2 x 11m medium pole new carrier poles.	South Wootton

12.04.2024	Application Permitted	20/01954/NMAM_2	Land W of South Wootton School Off Edward Benefer Way King's Lynn Norfolk NON-MATERIAL AMENDMENT to Planning Permission 20/01954/RMM: Construction of 450 dwellings with associated infrastructure, to include access, landscaping, appearance, layout and scale	South Wootton
13.11.2023	02.04.2024 Application Refused	23/02030/F	Aviary House Mill Drove Southery DOWNHAM MARKET Change of use of house and garage to dog breeding business	Southery
02.02.2024	25.03.2024 Application Refused	24/00187/O	The Everglades 33C Feltwell Road Southery Downham Market Outline Application: Proposed 2 bedroom bungalow	Southery
19.02.2024	12.04.2024 Application Refused	24/00298/F	11 Feltwell Road Southery Downham Market Norfolk Construction of a 2 storey side extension, internal alterations and the erection of a 1.5m high boundary fence	Southery
08.01.2024	27.03.2024 Application Permitted	24/00034/F	Water Treatment Works School Lane Stoke Ferry Norfolk Application for the installation of CCTV, an alternative underground cable route and an associated new kiosk in connection with previously approved solar array and Stoke Ferry Water Treatment Works	Stoke Ferry

15.02.2024	10.04.2024 Application Refused	24/00275/F	Holmdene 1 Furlong Road Stoke Ferry King's Lynn First floor rear extension to existing dwelling	Stoke Ferry
04.12.2023	26.03.2024 Application Permitted	23/02162/F	Barns At Centre Farm Downham Road Stradsett Norfolk Conversion of existing barns to dwelling houses	Stradsett
25.09.2023	26.03.2024 Application Permitted	23/01717/F	Land To Rear of 48 To 64A School Road Terrington St John PE14 7SG Erection of a stables and formation of a manege, including installation of lighting and fencing	Terrington St John
09.10.2023	25.03.2024 Application Permitted	23/01823/F	Land To Rear of 48 To 64A School Road Terrington St John Wisbech Erection of a barn	Terrington St John
10.10.2023	21.03.2024 Application Refused	23/01795/F	The Ridings 94 School Road Terrington St John Wisbech Construction of 1no. Dwelling and Extension/Alterations to Existing Dwelling	Terrington St John
21.02.2024	16.04.2024 Application Permitted	24/00321/F	146 School Road Terrington St John Wisbech Norfolk Proposed garage extension to rear of existing garage.	Terrington St John
06.11.2023	09.04.2024 Application Permitted	23/01983/F	The Stables Ringstead Road Thornham Hunstanton Proposed Extension and Alterations to existing dwelling	Thornham

10.01.2024	17.04.2024 Application Permitted	24/00056/F	The Porch House Hall Lane Thornham Hunstanton Alterations and repairs to the existing building and installation of Solar PV	Thornham
21.03.2024	16.04.2024 Application Permitted	22/00071/NMA_2	The Pastures 6 Choseley Road Thornham Norfolk NON-MATERIAL AMENDMENT TO PLANNING PERMISSION 22/00071/F: Removal or variation of conditions 1, 2, 4, 7, 8, 9, 11, 12, 13, 14, 15, 17 and 19 of planning permission 21/00321/F	Thornham
05.02.2024	20.03.2024 Application Permitted	24/00192/F	Shayne 40 Church Road Tilney All Saints King's Lynn Variation of Condition 2 of Planning Permission 22/00360/F: Extensions, internal alterations and replacement roof covering	Tilney All Saints
06.03.2024	18.04.2024 Would be Lawful	24/00423/LDP	28 St Johns Road Tilney St Lawrence King's Lynn Norfolk Lawful Development Certificate: The installation of a small column complete with below-ground concrete base 1.2 x 1.2 x 0.5m for support for a small wind turbine.	Tilney St Lawrence
21.12.2023	08.04.2024 Application Permitted	23/02277/F	36 New Road Upwell Wisbech Norfolk Construction of a rear single storey extension and detached double garage with hobby room over.	Upwell

13.07.2023	11.04.2024 Prior Approval - Approved	23/01301/PACU3	Holme Farm King John Bank Walpole St Andrew Wisbech Notification for Prior Approval for change of use of agricultural building to three dwellings (Schedule 2, Part 3, Class Q)	Walpole
30.01.2024	22.03.2024 Would be Lawful	24/00167/LDP	8 Folgate Lane Walpole St Andrew Wisbech Norfolk Application for a Lawful Development Certificate for proposed use as a dwelling house by not more than six residents living together as a single household (including a household where care is provided for residents)	Walpole

23.02.2024	05.04.2024 Prior Approval - Not Required	24/00343/T3	Land At Walpole Community Hall Summer Close Walpole St Andrew Norfolk APPLICATION TO DETERMINE IF PRIOR APPROVAL IS REQUIRED: Proposed arqiva smart metering 1no. omni at 13.83m mean mounted on proposed 12m streetworks pole. Proposed arqiva smart metering 1no. gps antenna at 12.4m mean mounted on proposed streetworks pole. Proposed arqiva smart metering 1no. 3g omni antenna at 3.8m mean mounted on proposed streetworks pole. Proposed arqiva smart metering equipment enclosure to be installed on a root foundation.	Walpole
27.06.2023	28.03.2024 Application Permitted	23/01138/F	Orchard Barn 7A Burrett Road Walsoken WISBECH Erection of 2no dwellinghouses	Walsoken
07.03.2024	04.04.2024 AG Prior Notification - NOT REQD	24/00432/AG	Floral Farm Osborne Road Walsoken Wisbech Agricultural Prior Notification: Potato handling/grading building	Walsoken
05.02.2024	04.04.2024 Application Refused	24/00228/F	Sunnyside 74 Downham Road Watlington King's Lynn Conversion of bungalow to chalet with extensions and alteration.	Watlington

30.11.2022	10.04.2024 Application Permitted	22/02153/F	Wildfowl And Wetlands Trust Hundred Foot Bank Welney Norfolk Proposed Store/Workshop building.	Welney
07.02.2024	11.04.2024 Application Permitted	24/00217/O	Agricultural Building S of Oak Farm Chequers Road Wretton Norfolk OUTLINE APPLICATION WITH ALL MATTERS RESERVED FOR : Demolition of existing agricultural building to create 2no residential dwellings.	Wretton